



Sudden Valley Community Association

360-734-6430

4 Clubhouse Circle Bellingham, WA 98229

www.suddenvalley.com

Board of Directors Regular Meeting

October 12th, 2023, 7:00 PM, IN-PERSON, DANCE BARN

Call to Order

Land Acknowledgement & Anti-Racism Statement

Roll Call

Item 1) Adoption of Agenda

Item 2) Announcements

Item 3) Property Owner Comments – 15 Minutes Total

Please note that comments are limited to 3 minutes per person.

Item 4) Closed Session –Legal

Item 5) General Manager Report

Item 6) New Business

6a. Capital Request – Maintenance Shop Remodel

6b. Approval Request – Auditor’s Engagement Letter

6c. Approval Request – Appeals Process

6d. Appointment of Appeals Committee

Adjournment



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CAPITAL REQUEST MEMO

To: Sudden Valley Community Association Board of Directors
From: Jo Anne Jensen, General Manager
Date: October 12th, 2023
Subject: Capital Request – Maintenance Shop Remodel
Change Order to Capital Code 9722.08

Purpose

To request additional funding for the Maintenance Shop Remodel, SVCA Capital Code 9722.08, per PNW's summary dated October 9, 2023.

Background

On October 27, 2022, this project was brought to the Board and approved to start design, permitting, and included funding based on an initial cost estimate of \$254,657. PNW's summary from the October 27, 2022 Board packet is included in PNW's backup dated October 9, 2023.

Analysis

The project proposed on October 27, 2022 was an interior remodel of the Maintenance Shop as it was believed a full remodel to the building wasn't feasible without bringing the entire building up to code. Through design and permitting it was discovered the building could receive a full remodel to include new siding, roof, full replacement of HVAC/electrical/plumbing, new windows/doors, and include the proposed interior remodel. This project will also bring the building up to ADA requirements. The expansion of the scope has increased the proposed project cost but will deliver what is essentially a new Maintenance Shop for about one-third the price of building a new shop. (On December 31, 2019, PNW provided a cost estimate to build a new Maintenance Shop prepared by Carletti Architects with a budget of \$1,564,059.00 that is provided for reference in PNW's summary dated October 9, 2023.)

Proposal

Provide funding for remodeling the Maintenance Shop per PNW's summary dated October 9, 2023. This includes:

- \$6,500.00 – Additional cost of design and permitting
- \$222,241.36 – Additional project funds required for construction and oversight
- \$228,741.36 – Total additional funds requested per PNW's summary

In addition, the Maintenance Department requests that a Generac propane generator be installed to power the Maintenance Shop when the power is out. Often when the power is out it is because of storms, and the Maintenance Department is onsite working. Having power in



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the shop increases their effectiveness and provides a safe working environment. The cost to have a 22KW propane Generac generator installed with an automatic transfer switch is typically \$13,000 to \$15,000 not including WSST. We are requesting \$15,000.00 be approved for SVCA to add a generator as part of the project remodel.

Request 1

Request \$228,741.36 from CRRRF for project change order funding to move the project forward with construction.

Request 2

Request that the Board of Directors authorize the General Manager to execute SVCA's standard construction contract with Cool Runnings with a not to exceed amount of \$388,788.

Request 3

Request \$15,000.00 plus WSST at 8.6% for a total of \$16,290.00 to purchase and install a Generac propane generator with an automatic transfer switch.

Motion 1

Move that the SVCA Board of Directors approve the allocation of \$228,741.36 from CRRRF to SVCA Capital Code 9722.08.

Motion 2

Move that the SVCA Board of Directors authorize the General Manager to execute SVCA's standard construction contract with Cool Runnings with a not to exceed amount of \$388,788.

Motion 3

Move that the SVCA Board of Directors approve the allocation of \$16,290.00 from CRRRF to purchase and install a Generac generator for the Maintenance Shop.

Board of Directors Approval 1

Approved: _____ Not Approved: _____SVCA Board of Directors

Board of Directors Approval 2

Approved: _____ Not Approved: _____SVCA Board of Directors

Board of Directors Approval 3

Approved: _____ Not Approved: _____SVCA Board of Directors



October 9, 2023

Sudden Valley Community Association
Attn: Jo Anne Jensen
4 Clubhouse Circle
Bellingham, WA 98229

RE: Project Scope Letter
Maintenance Shop Remodel – Construction Estimate
SVCA Capital Code: 9722.08

PNW is providing this overall project scope letter to SVCA for the proposed Maintenance Shop Remodel, SVCA Capital Code 9722.08. The permit will be issued upon contract award, and Whatcom County being notified of who the contractor is to list on the permit. Summary of the project:

- Design, Permitting, & Contractor Bids
 - o Design and permitting was updated to include full replacement of the HVAC, plumbing, electrical, metal siding, and metal roof. The original project scope assumed these components wouldn't be allowed by Whatcom County without triggering a larger project requiring the full building to be brought up to current code. Sarah Brown completed the initial design for a basic interior remodel, and submitted to Whatcom County along with asking about scope additions. Whatcom County agreed these additional scopes could be added without having to seismically retrofit the building and add fire suppression. This allowance added design and permitting fees that are identified below. With this the Maintenance Shop will essentially be a new building without the cost of a new building.
 - o The project was issued for bid on 9-2-23 to 6 contractors recommended by Sarah Brown requesting quotes.
 - Cool Runnings Construction – Quote received.
 - Wellman & Zuck – Quote received.
 - Ethos West Construction – No quote.
 - The Franklin Corporation – No quote.
 - Tiger / Pearson Construction – No quote.
 - Axthelm Construction – No quote.

Bids were originally due on 9-22-23, and a 2-week extension was issued at the request of contractors for additional time to quote with bids due 10-6-23.

- Construction
 - o Construction is proposed to start in November of 2023 assuming Board approval for contract award. Once approved, SVCA's maintenance department will begin vacating the existing shop into a temporary office trailer and storage containers that were budgeted in the 10-24-22 budget. Construction will take approximately 5 months to complete.



- The scope of work to complete is shown in the attached bid drawings dated 8-15-23. The expanded scope of work includes:
 - New metal siding and metal roof.
 - New HVAC system, plumbing, and electrical.
 - New windows and doors.
 - Demolition of existing office/bathroom interior, and remodel of this space with all new finishes including wall coverings, cabinets, painting, flooring, etc. The shop portion of the maintenance shop will remain as is where tools are stored and equipment is worked on. This space will be retrofitted to accommodate HVAC and electrical replacements.
 - The interior remodel will meet ADA requirements.

- As part of the Area Z Tall Barn remodel, it was discovered the electrical service for the Maintenance Shop is connected to the Tall Barn. Currently a single 200-amp service, ran overhead from across the creek, feeds the Tall Barn. This service then has 90-amps that feeds the Maintenance Shop. A 90-amp service is too small to feed the maintenance shop as experienced by the Maintenance Department with not understanding why breakers occasionally blew. In addition, with this line being overhead it is subject to tree and branch damage each storm. This capital request includes a funding allowance to replace the existing electrical service. Final costs are still being developed with PSE, and the below estimates are preliminary. This included scope of work assumes:
 - The existing transformer in Area Z located between the Maintenance Shop and Tall Barn will be utilized to provide the new service. PSE has confirmed this has the capacity and can have a service from it.
 - The new service will be installed underground in conduit from the transformer to the Maintenance Shop. The new service will be a 400-amp service with 310 amps dedicated to the Maintenance Shop. This will provide adequate capacity then for the Maintenance Shop to function without blowing breakers. The remaining 90-amps will be dedicated to the Tall Barn. This will be installed underground in conduit sharing the trench with the new service to the Maintenance Shop.
 - The old overhead service will be removed.

- On 12-31-19 PNW submitted a cost estimate to SVCA prepared by Carletti Architects to construct a new maintenance shop, see attached. This preliminary estimate was valued at \$1,564,059.00. While the proposed remodel is not a new maintenance shop, it is completing remodeling the existing maintenance shop to be like a new building leaving the existing foundation and framing in place. All other components are pretty much being replaced. The proposed remodel total cost of \$483,398.54 is roughly 1/3 of the cost to replace the existing shop (Original 10-24-23 value at \$254,657.18 plus 10-9-23 request at \$228,741.36).



Summary of anticipated costs:

Additional HVAC Scope – Design & Permitting	
- Berona Engineers Inc. – Design & Permitting for Existing HVAC Replacement and Plumbing	\$3,000.00
- Sarah Brown Architecture & Design – Scope expansion to incorporate HVAC, plumbing, metal siding, and roof replacements.	\$3,500.00
Total Additional Design & Permitting	\$6,500.00
Construction Oversight	
- Sarah Brown Architecture & Design – Allows 20 hours during construction if questions arise by contractor.	\$3,700.00
- PNW Services Inc. – In Original Request.	\$0.00
Total – Construction Oversight Addition	\$3,700.00
Construction Estimate	
- Cool Runnings Construction – Quote Dated 10-5-23	\$388,788.00
- 10-24-22 Budget – Preliminary Construction Estimate (\$159,120.00 + \$13,684.32)	<\$172,804.32>
- 10-24-22 Budget – Contingency	<\$42,442.32>
- New Electrical Service – PSE Allowance	\$15,000.00
- New Electrical Service – SVCA Maintenance Department – Trenching & Backfill Allowance	\$10,000.00
- New Electrical Service – New Panels & Wiring Allowance	\$20,000.00
Subtotal Construction Estimate	\$218,541.36
Total Additional Oversight & Construction	\$222,241.36
Total Combined Funding Request	\$228,741.36

Please let me know if you have any questions, or if you would like any further information.

Sincerely,

Tyler Andrews
President

October 6, 2023 - Bid Tabulation

Project: Maintenance Shop Remodel

Item #	Description	Quantity	Unit	Cool Runnings Construction		Wellman & Zuck Constructors, LLC	
				Unit Price	Total	Unit Price	Total
1	Mobilization	1	LS	\$ 2,000.00	\$ 2,000.00	\$ 86,013.10	\$ 86,013.10
2	Metal Roof	1	LS	\$ 26,400.00	\$ 26,400.00	\$ 58,995.00	\$ 58,995.00
3	Metal Siding	1	LS	\$ 29,100.00	\$ 29,100.00	\$ 65,032.50	\$ 65,032.50
4	HVAC	1	LS	\$ 67,500.00	\$ 67,500.00	\$ 51,750.00	\$ 51,750.00
5	Electrical	1	LS	\$ 13,000.00	\$ 13,000.00	\$ 18,193.00	\$ 18,193.00
6	Plumbing	1	LS	\$ 48,000.00	\$ 48,000.00	\$ 23,000.00	\$ 23,000.00
7	All Other Work	1	LS	\$162,000.00	\$162,000.00	\$253,660.10	\$253,660.10
8	Minor Changes	1	EST.	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00
Schedule A Subtotal					\$358,000.00		\$566,643.70
WSST @ 8.6%					\$ 30,788.00		\$ 48,731.36
Schedule A Total w/ WSST					\$388,788.00		\$615,375.06



September 25, 2023 – Addendum #2 Bid Form

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)
Bid Form – Maintenance Shop Remodel

Bid submissions are due by 1:00pm on Friday, 10-6-23. Email bid submissions to tylera@pnwcivil.com.

Firm Name: Cool Runnings Construction

Bid Schedule – Maintenance Shop Remodel					
Item #	Description	Quantity	Unit	Unit Price	Total
1.	Mobilization	1	LS	\$ 2,000	\$ 2,000
2.	Metal Roof	1	LS	\$ 26,400	\$ 26,400
3.	Metal Siding	1	LS	\$ 29,100	\$ 29,100
4.	HVAC	1	LS	\$ 67,500	\$ 67,500
5.	Electrical	1	LS	\$ 13,000	\$ 13,000
6.	Plumbing	1	LS	\$ 48,000	\$ 48,000
7.	All Other Work	1	LS	\$ 162,000	\$ 162,000
8.	Minor Changes	1	EST.	\$10,000.00	\$10,000.00
	Subtotal			\$358,000	\$ 358,000
	WSST @ 8.6%			\$30,788	\$ 30,788
	Total w/ WSST			\$388,788	\$ 388,788

Acknowledgement of addendums: David Campbell, Owner

By: David Campbell
Signature of Authorized Person

Date: 10/06/2023

Print Name & Title: David Campbell, Owner



September 25, 2023 – Addendum #2 Bid Form

Attn: Bidders

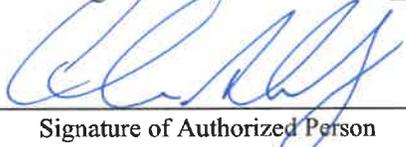
RE: Sudden Valley Community Association (SVCA)
Bid Form – Maintenance Shop Remodel

Bid submissions are due by 1:00pm on Friday, 10-6-23. Email bid submissions to tylera@pnwcivil.com.

Firm Name: Wellman & Zuck Constructors, LLC

Bid Schedule – Maintenance Shop Remodel					
Item #	Description	Quantity	Unit	Unit Price	Total
1.	Mobilization	1	LS	\$	\$ 86,013.10
2.	Metal Roof	1	LS	\$	\$ 58,995.00
3.	Metal Siding	1	LS	\$	\$ 65,032.50
4.	HVAC	1	LS	\$	\$ 51,750.00
5.	Electrical	1	LS	\$	\$ 18,193.00
6.	Plumbing	1	LS	\$	\$ 23,000.00
7.	All Other Work	1	LS	\$	\$ 253,660.10
8.	Minor Changes	1	EST.	\$10,000.00	\$10,000.00
	Subtotal				\$ 566,643.70
	WSST @ 8.6%				\$ 48,731.36
	Total w/ WSST				\$ 615,375.06

Acknowledgement of addendums: 2

By: 
Signature of Authorized Person

Date: 10/06/2023

Print Name & Title: Chris Abbey, Partner



September 2, 2023

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)
Quote Request – Maintenance Shop Remodel

SVCA is requesting quotes for the Maintenance Shop Remodel project. The existing maintenance shop is a pole building that will be remodeled per the design drawings by Sarah Brown Architecture + Design dated 8-15-23. Bid proposals are due by 10:00am on Friday, 9-22-23. To review the interior, contractors need to schedule a time Monday thru Friday, 8:00am to 3:00pm. Please contact Mike Brock at mike.brock@suddenvalley.com to schedule any visits.

Summary of Work:

1. The project will go in front of the SVCA Board on Thursday, 9-28-23, for contract award. NTP is anticipated 10-16-23.
2. All work is assumed to be completed under 1 mobilization.
3. All work shall be completed by 3-15-24.
4. Contractor shall provide a schedule and submittals to SVCA within 14 days of NTP.
5. SVCA work hours are 8:00am – 7:00pm Monday through Friday, and 8:00am – 6:00pm Saturday.
6. SVCA will work with the contractor to provide adequate staging around the maintenance shop. Contractor shall utilize existing gravel surfaces for staging, and any soil disturbance shall be restored.
7. SVCA's maintenance department will empty the shop of all items prior to contractor starting. This includes tools, equipment, and furniture. All items noted for removal on the drawings are contractor's responsibility.
8. SVCA's maintenance department will continue operations out of Area Z, and contractor shall not interfere with this operation. SVCA will bring in a temporary office trailer and metal storage containers to operate out of. These will be located next to the Tall Barn which is the (E) Shed per A1.01 located on the east side of the driveway as you enter Area Z.
9. Contractor shall hire a professional cleaner to clean the maintenance shop upon completion prior to turnover to SVCA.
10. All permits will be by SVCA except electrical. Contractor will be responsible for coordinating necessary inspections, and getting the electrical permits. SVCA received a building permit from Whatcom County on 6-16-23. An amendment was submitted to Whatcom County to include HVAC/Plumbing, and the updated permit will be provided to contractor upon receipt. SVCA anticipates the updated permit to be issued in September.
11. Force account work to receive 15% markup.
12. Contractor shall provide Performance and Payment Bonds. Bid bonds are not required.
13. This is a private project, and prevailing wages are not applicable.
14. Contractor shall warranty work for 1 year from final completion.



Scope of Work Clarifications:

- Bid Item #4 – HVAC
 - o Vents shown on Grid 1 on Drawing M2.0 shall be extended to the exterior wall of the Existing Shed 2 as shown on Drawing A2.01.

- Bid Item #5 – Electrical
 - o SVCA is installing a new electrical service to the maintenance shop that is intended to be completed by 10-16-23. This will include:
 - A new 400 amp panel will be installed where the existing panel is located.
 - From this panel a 90-amp service is for the Tall Barn. Contractor shall maintain power to the Tall Barn during construction as SVCA will be utilizing this service for their temporary office / staging setup.
 - All other electrical is the responsibility of the contractor. The new panel will be installed with only the 90-amp service connected. The maintenance shop will not have anything else connected to the new panel prior to contractor starting.
 - The air compressor and welder shown on A2.01 shall have a 50amp circuit to each location.

- Bid Item #6 – All Other Work
 - o Door 105D shall include an electric operator.
 - o Hose bib faucet at Grid A9 shown on P2.1 shall include hot and cold water.
 - o SVCA will supply the refrigerator and microwave for installation by contractor.

Attachments:

1. Bid Form – 1 Page
2. Drawings – Sarah Brown Architecture + Design – 24 Pages
3. Whatcom County Building Permit Dated 6-16-23 – 11 Pages
4. SVCA Standard Contract – 12 Pages

Questions are due by 5:00pm on 9-13-23 and shall be directed to Tyler Andrews at tylera@pnwcivil.com. Contractors are encouraged to independently visit the site; no formal pre-bid is scheduled. Bids are due by 10:00am on Friday, 9-22-23. Email bid submissions to tylera@pnwcivil.com.



September 2, 2023

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)
Bid Form – Maintenance Shop Remodel

Bid submissions are due by 10:00am on Friday, 9-22-23. Email bid submissions to tylera@pnwcivil.com.

Firm Name: _____

Bid Schedule – Maintenance Shop Remodel					
Item #	Description	Quantity	Unit	Unit Price	Total
1.	Mobilization	1	LS	\$	\$
2.	Metal Roof	1	LS	\$	\$
3.	Metal Siding	1	LS	\$	\$
4.	HVAC	1	LS	\$	\$
5.	Electrical	1	LS	\$	\$
6.	All Other Work	1	LS	\$	\$
7.	Minor Changes	1	EST.	\$10,000.00	\$10,000.00
	Subtotal				\$
	WSST @ 8.6%				\$
	Total w/ WSST				\$

By: _____
Signature of Authorized Person

Date: _____

Print Name & Title: _____



AREA 'Z' MAINT. SHED

SUDDEN VALLEY
ASSOCIATION
4 CLUBHOUSE RD
BELLINGHAM, WA

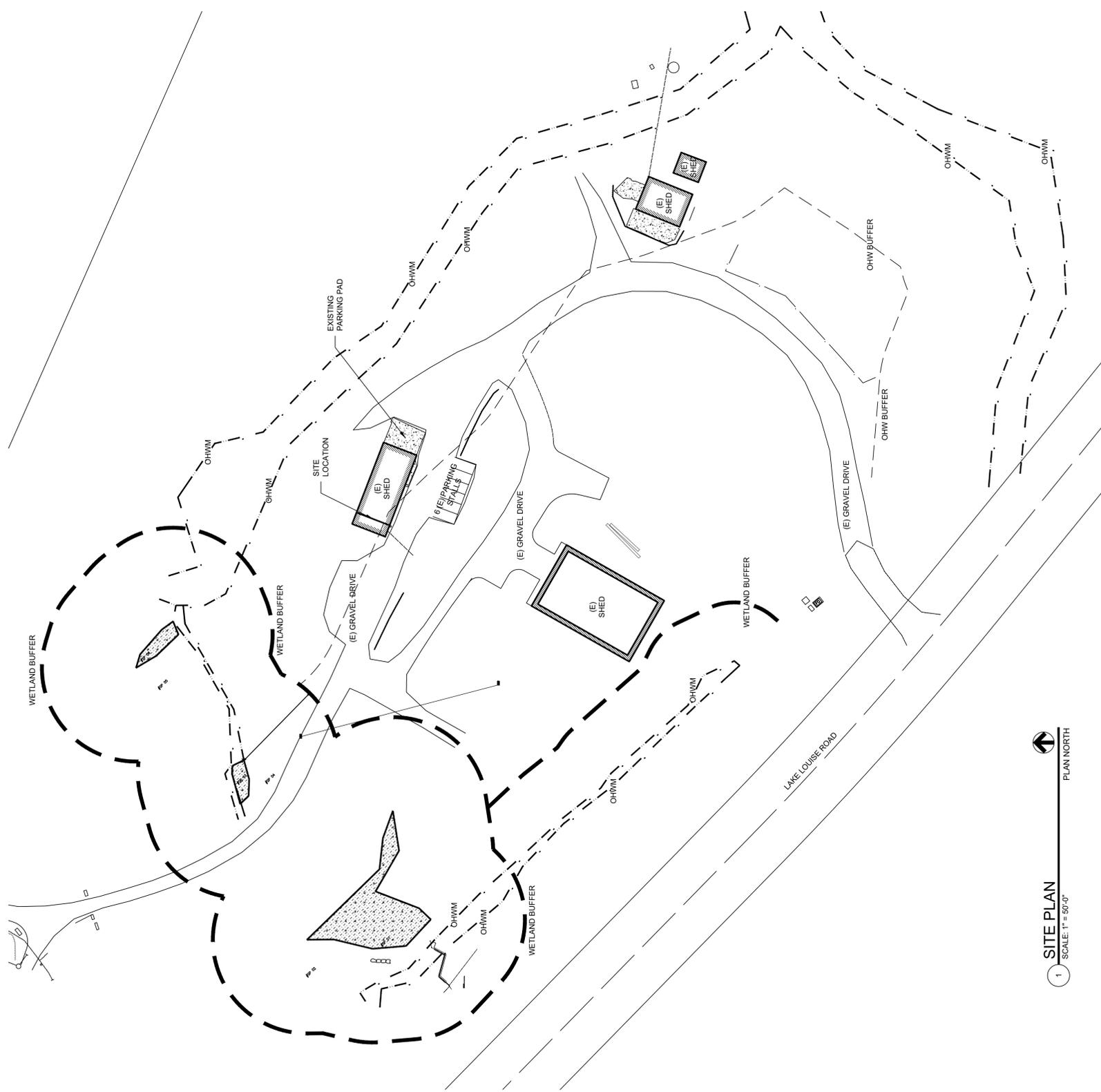
JOB NO: 202203.14
DATE: 08.15.2023

BID SET
08.15.2023

REV ISSUED FOR DATE

SITE PLAN

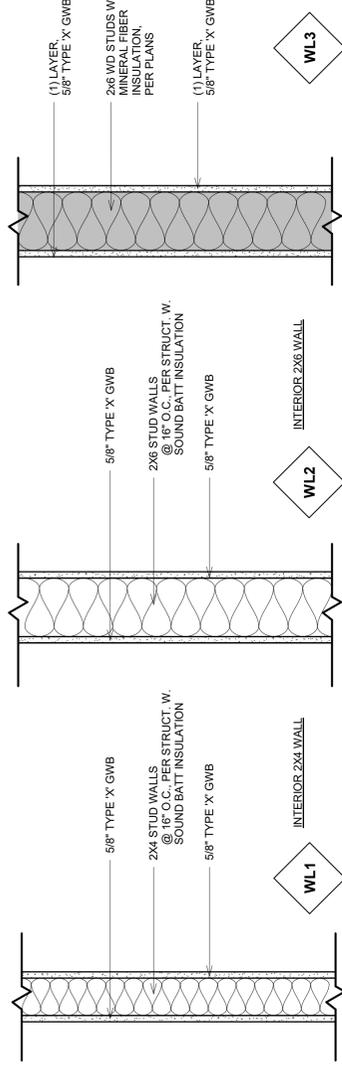
A 1.01



1 SITE PLAN
SCALE: 1" = 50'-0"
PLAN NORTH

1 HR FIRE WALL
GA FILE NO. WP 3660

ONE LAYER 5/8" TYPE X Gypsum BOARD ON EACH SIDE OF 2x6 WOOD STUDS @ 16" O.C. WITH 2 1/4" TYPE SOR W DRYWALL SCREWS 7" O.C.
VERTICAL JOINTS STAGGERED 1/4" O.C., HORIZONTAL JOINTS STAGGERED 24" O.C. ON OPPOSITE SIDES.
TESTED AT 5,196 LBS PER STUD OR 100 PERCENT OF DESIGN LOAD. (LOAD BEARINGS)

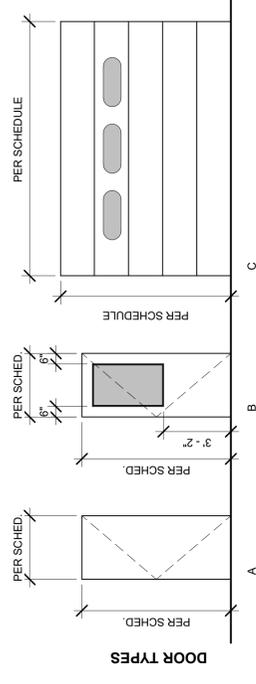
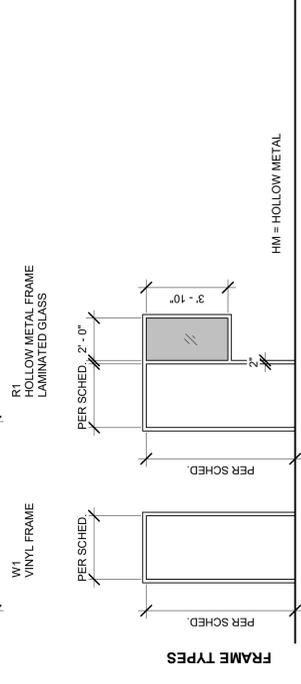
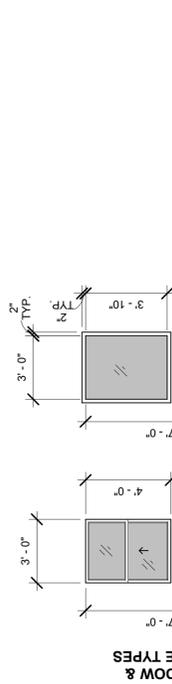


3 WALL TYPES
1 1/2" = 1'-0"

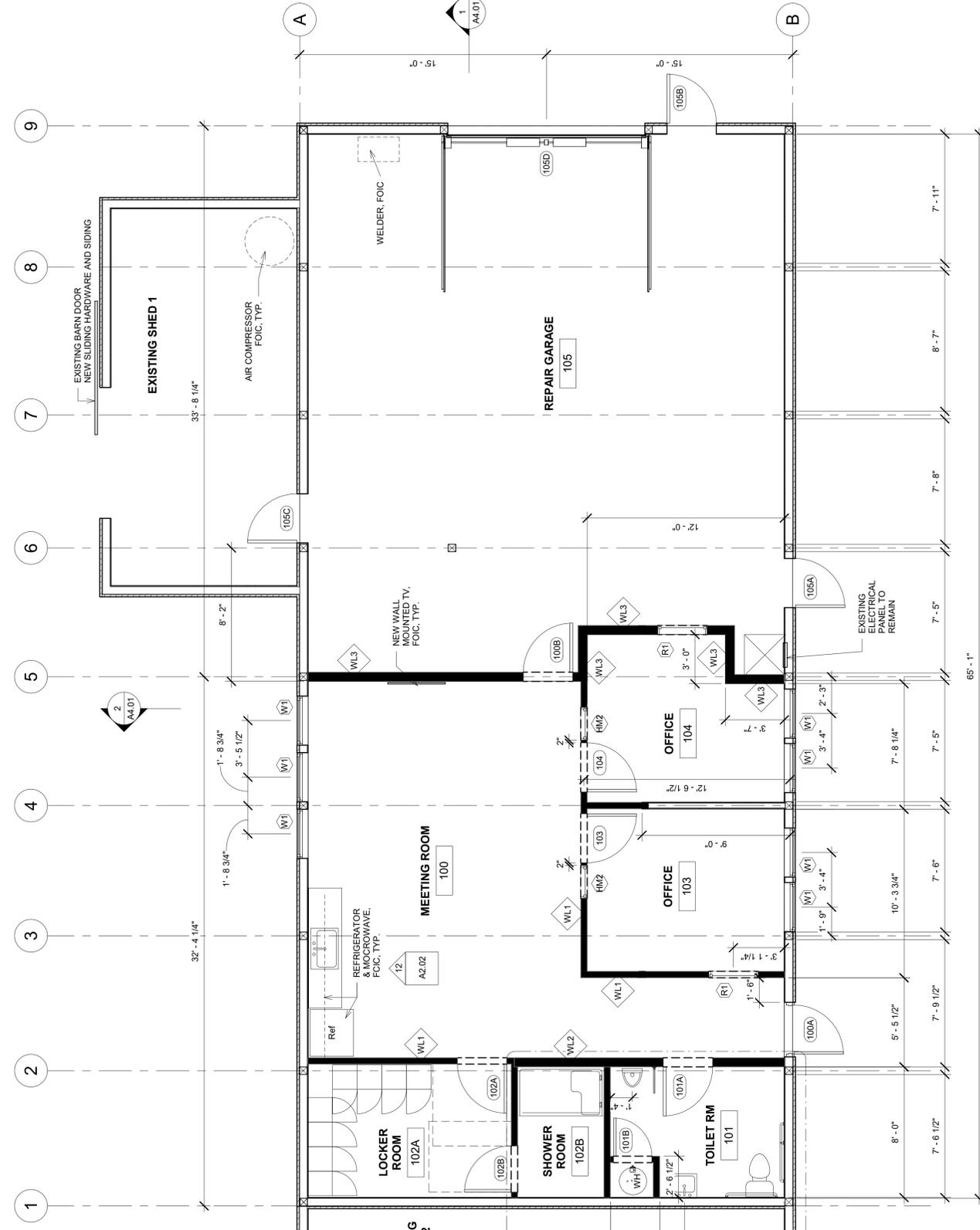
AREA Z DOOR SCHEDULE								
MARK	WIDTH	HEIGHT	ROOM TYPE	DOOR TYPE	FRAME TYPE	CONSTRUCTION	GLASS	HARDWARE TYPE
100A	3'-0"	7'-0"	ENTRY HALL	B	HM1	METAL INSULATED	TI	LEVER/KEY LOCK
100B	3'-0"	7'-0"	LINEN CLOSET	B	HM1	HOLLOW METAL	TI	LEVER/KEY LOCK
101A	3'-0"	7'-0"	TOILET ROOM	A	HM1	METAL INSULATED	-	LEVER/ADA LOCK
101B	2'-4"	7'-0"	TOILET ROOM	A	HM1	HOLLOW METAL	-	LEVER
102A	3'-0"	7'-0"	LOCKER ROOM	B	HM1	HOLLOW METAL	TI	LEVER
102B	2'-10"	7'-0"	LOCKER ROOM	B	HM1	HOLLOW METAL	TI	LEVER/ADA LOCK
103	3'-0"	7'-0"	OFFICE	B	HM2	HOLLOW METAL	TI	LEVER/KEY LOCK
104	3'-0"	7'-0"	OFFICE	B	HM2	HOLLOW METAL	TI	LEVER/KEY LOCK
105A	3'-0"	7'-0"	GARAGE	A	HM1	METAL INSULATED	TI	LEVER/KEY LOCK
105B	3'-0"	7'-0"	GARAGE	A	HM1	METAL INSULATED	TI	LEVER/KEY LOCK
105C	3'-0"	7'-0"	GARAGE	A	HM1	METAL INSULATED	TI	LEVER/KEY LOCK
105D	12'-0"	8'-0"	GARAGE	C	MFR	METAL INSULATED	-	PER MFR.
106A	3'-0"	7'-0"	(B) SHED 2	A	HM1	HOLLOW METAL	-	LEVER/KEY LOCK
106B	3'-0"	7'-0"	(B) SHED 2	A	HM1	HOLLOW METAL	-	LEVER/KEY LOCK

DOOR NOTES:

1. VERIFY ALL R.O. AND JAMB DEPTHS PRIOR TO ORDERING.
2. ALL DOORS TO HAVE BARRIER FREE HARDWARE AS REQUIRED.
3. DOORS SHALL HAVE LEVER HARDWARE WHICH WILL PERMIT OPERATION BY WRIST OR ARM PRESSURE.
4. ALL DOORS W. DEADBOLTS MUST HAVE SINGLE ACTION OPERATION BY HANDLE INSIDE AND KEY ON THE EXTERIOR.



2 FENESTRATION TYPES
1/4" = 1'-0"



WALL KEY



AREA 'Z'
MAINT. SHED T1

SUDDEN VALLEY ASSOCIATION
4 CLUBHOUSE ROAD
BELLINGHAM, WA

SB JOB NO: 202203.14
DATE: 08.15.2023

BID SET
08.15.2023

No.	ISSUED FOR	DATE

FLOOR PLANS

AREA 'Z'
MAINT. SHED TI

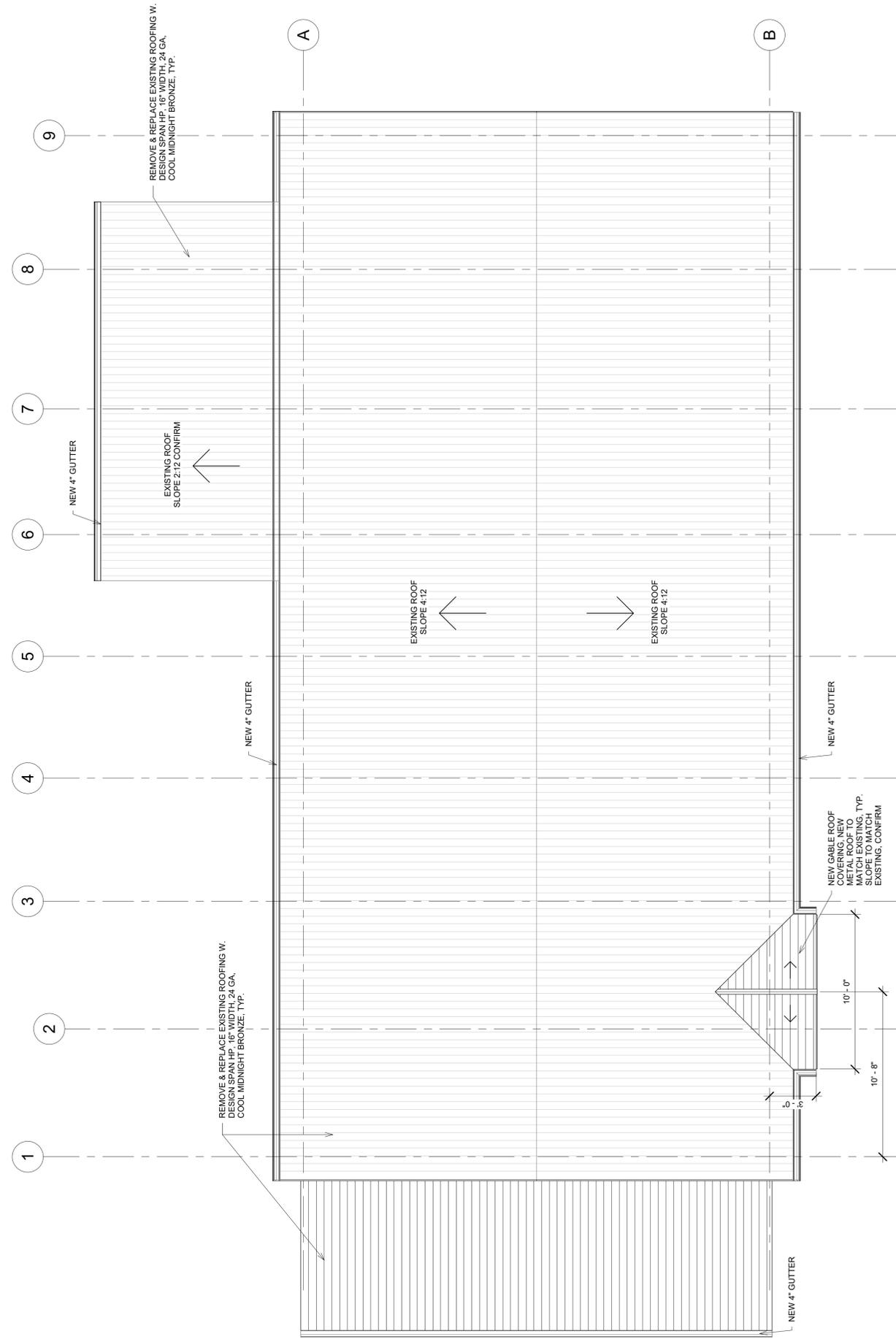
SUDDEN VALLEY
ASSOCIATION
4 CLUBHOUSE CIRCLE
BELLINGHAM, WA

SB JOB NO: 202203.14
DATE: 06.29.2022

PERMIT SET

No.	ISSUED FOR	DATE

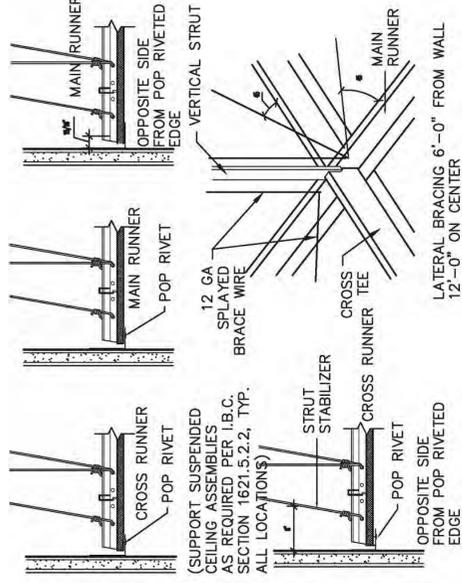
ROOF PLAN



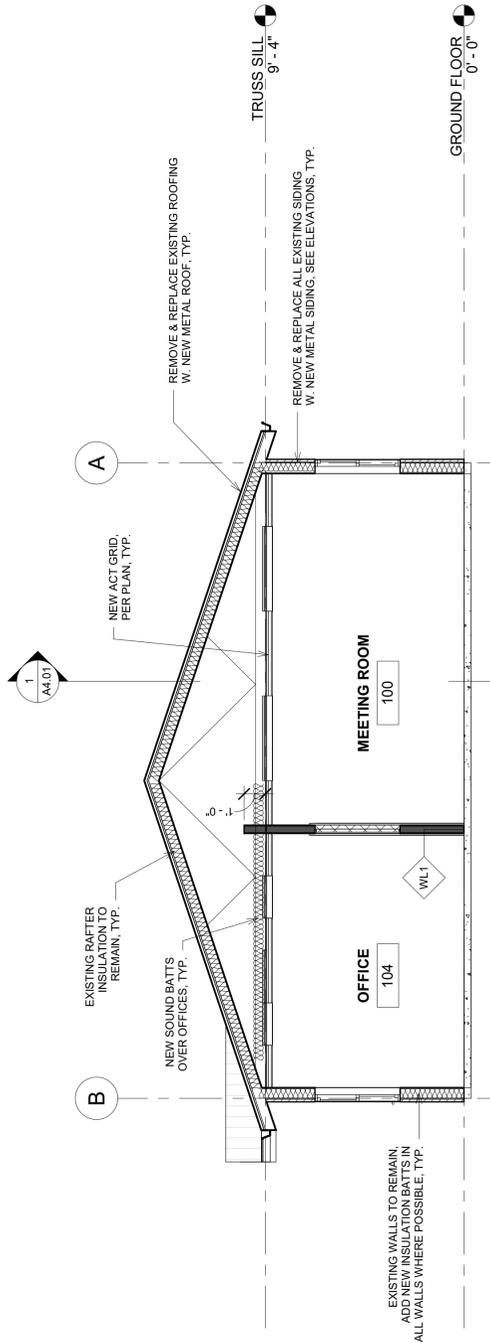
① ROOF PLAN
1/4" = 1'-0"

CEILING SUSPENSION NOTES:

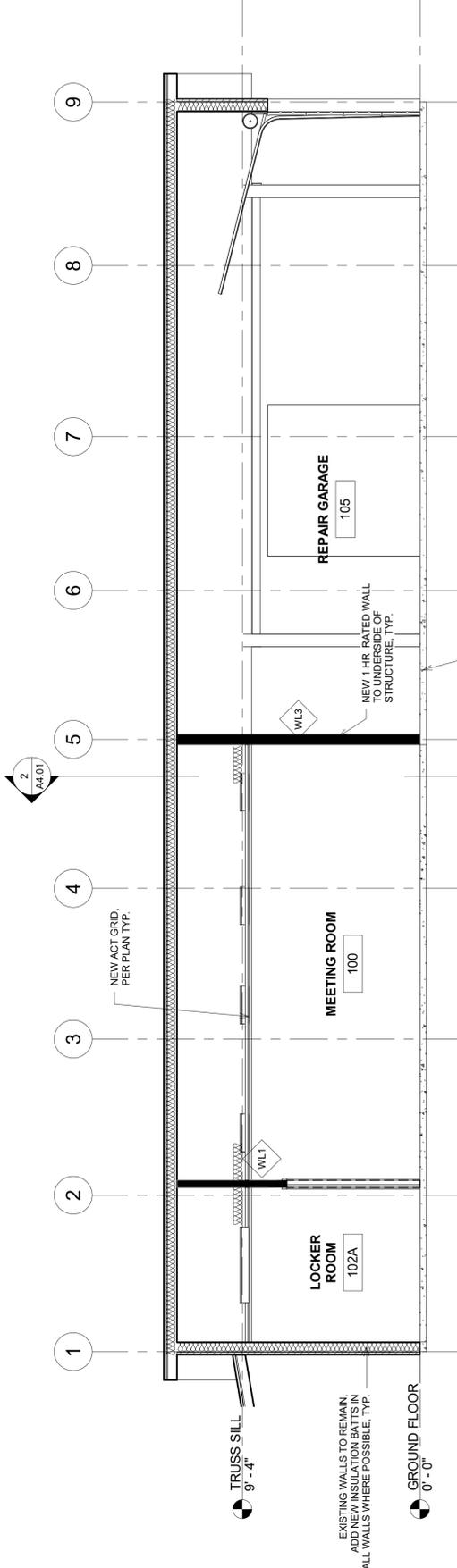
- BRACING DESIGN BASED ON THE NORTHWEST WALL & CEILING BUREAU FIELD TECHNICAL INFORMATION DOCUMENT 401, DATED 8/2005.
- ALL NEW SUSPENDED CEILINGS ARE TO BE CONSTRUCTED PER IBC, VERTICAL AND LATERAL RESTRAINT STANDARDS AS APPLICABLE AND THE APPLICABLE ASTM STANDARDS, WHERE IBC, ASCE AND ASTM STANDARDS AND REQUIREMENTS CONFLICT WITH THE DRAWINGS, THE IBC, ASCE, AND ASTM STANDARDS AND REQUIREMENTS SHALL GOVERN.
- ALL MAIN TEES ARE TO BE HEAVY-DUTY (HD). ALL CROSS TEES SHALL BE CAPABLE OF CARRYING THE DESIGN LOAD WITHOUT EXCEEDING DEFLECTION OF 1/800 OF ITS SPAN.
- USING AND/OR ADJUSTING LATH CEILING INTENDED FOR SPRAY ON SYSTEMS (GRID, PANEL TILE, LIGHT FIXTURES AND/OR ACoustic PANELS) SHALL BE PERFORMED PER SOG. NOTIFY ARCHITECT IF WEIGHT OF INSTALLED SYSTEMS WILL EXCEED RECOMMENDED WEIGHT LIMIT.
- ALL WIRE TIES TO BE THREE TIGHT TURNS MINIMUM WITHIN 3". HANGER WIRE TO BE 12-GAUGE MINIMUM, SPACED AT 4'-0" ON CENTER.
- LATERAL BRACING IS REQUIRED FOR CEILINGS OVER 1,000 SQUARE FEET AND NOT REQUIRED FOR CEILINGS UNDER 1,000 SQUARE FEET. PROVIDE LATERAL BRACING FOR CEILINGS OVER 1,000 SQUARE FEET TO STRUCTURE. FOR CEILING AREAS EXCEEDING 2,500 SQUARE FEET, A SEISMIC SEPARATION JOINT OR FULL HEIGHT WALL PARTITION THAT BREAKS THE CEILING SHALL BE PROVIDED. REFER TO PLANS FOR LOCATIONS OF SEISMIC SEPARATION JOINTS.
- LATERAL BRACING SHALL BE PROVIDED AT 12'-0" ON CENTER AND BEGIN NO FARTHER THAN 6'-0" FROM WALL. LATERAL BRACING WITH PLENUMS LESS THAN 12" TO STRUCTURE ARE NOT REQUIRED TO HAVE LATERAL BRACING.
- VERTICAL STRUTS (COMPRESSION POSTS) MUST BE POSITIVELY ATTACHED TO STRUCTURE ABOVE, AND TO SUSPENSION SYSTEMS. REFER TO NORTHWEST WALL & CEILING BUREAU FIELD TECHNICAL INFORMATION DOCUMENT 401 FOR MAXIMUM RECOMMENDED LENGTHS FOR VERTICAL STRUTS, SUCH A MANNER THAT THEY SUPPORT THE GREATER NUMBER OF EITHER A DESIGN LOAD OF NOT LESS THAN 200 POUNDS, OR THE ACTUAL DESIGN LOAD WITH A SAFETY FACTOR OF 2. RIGID BRACING MAY BE USED IN LIEU OF SPLAY WIRES.
- LIGHT FIXTURES WEIGHING LESS THAN 10 POUNDS SHALL HAVE ONE 12-GAUGE HANGER WIRE CONNECTED FROM THE FIXTURE TO THE STRUCTURE ABOVE. THIS WIRE MAY BE SLACK. LIGHT FIXTURES WEIGHING MORE THAN 10 POUNDS SHALL BE SUPPORTED DIRECTLY TO THE STRUCTURE ABOVE. THESE WIRES MAY BE SLACK. LIGHT FIXTURES WEIGHING MORE THAN 56 POUNDS SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE. THESE WIRES MUST BE TAUT.
- PENDANT FIXTURES SHALL BE DIRECTLY SUPPORTED FROM THE STRUCTURE ABOVE USING A 5-GAUGE WIRE SUPPORT.
- APPROVED ALTERNATE SUPPORT WITHOUT USING THE CEILING SUSPENSION SYSTEM FOR DIRECT SUPPORT.
- TANDEM FIXTURES MAY UTILIZE COMMON WIRES.
- MECHANICAL TERMINALS OR SERVICES WEIGHING BETWEEN 20 AND 56 POUNDS MUST HAVE (2) 12-GAUGE WIRES CONNECTING THEM TO THE CEILING SYSTEM HANGERS OR TO THE STRUCTURE ABOVE. THESE WIRES SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE. THESE WIRES MUST BE TAUT.
- FOR CEILINGS WITHOUT RIGID BRACING, SPRINKLER HEAD PENETRATIONS SHALL HAVE A 2 INCH OVERSIZE RING, SLEEVE, OR ADAPTER THROUGH THE CEILING TILE TO ALLOW FREE MOVEMENT OF AT LEAST 1 INCH IN ALL HORIZONTAL DIRECTIONS. FLEXIBLE HEAD DESIGN THAT CAN ACCOMMODATE 1 INCH OF FREE MOVEMENT SHALL BE PERMITTED AS AN ALTERNATE.



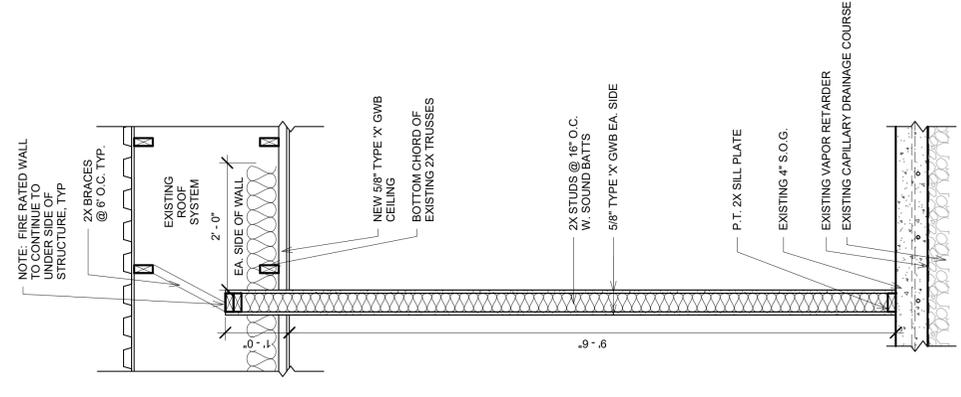
4 ACT CEILING DTL.
1" = 10'-0"



2 BUILDING SECTION - NORTH/SOUTH
1/4" = 1'-0"



1 BUILDING SECTION - EAST/WEST
1/4" = 1'-0"



3 WOOD FRAMED PARTITION WALL
3/4" = 1'-0"

**AREA 'Z'
MAINT. SHED T1**

SUDDEN VALLEY ASSOCIATION
4 CLUBHOUSE ROAD
BELLINGHAM, WA

SB JOB NO: 202203.14
DATE: 08.15.2023

**BID SET
08.15.2023**

No.	ISSUED FOR	DATE

BUILDING SECTIONS

For Bid Purpose Only
8/7/2023

South Brown Architecture + Design | Kennedy Interior Design
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8/7/2023

ROOM FINISH SCHEDULE

Room #	Room Use	Floor	Wall Base	CLG	North Wall	East Wall	South Wall	West Wall	Remarks
100	MEETING ROOM	LVP-1	RB-1	SA-1-1	CB-P CAB	CB-P	CB-P	CB-P	
101	TOILET ROOM	SV-1	RB-1	SA-1-1	CB-P FRP	CB-P FRP	CB-P FRP	CB-P FRP	
102	STORAGE ROOM	SV-1	RB-1	SA-1-1	CB-P	CB-P	CB-P	CB-P	
103	STORAGE ROOM	SV-1	RB-1	SA-1-1	CB-P	CB-P	CB-P	CB-P	
104	OFFICE	LVP-1	RB-1	SA-1-1	CB-P	CB-P	CB-P	CB-P	
105	REPAIR GARAGE	Conc.	RB-1	SA-1-1	CB-P	CB-P	CB-P	CB-P	

Abbreviations:

CAB Cabinetry
CPT Carpet
GBP Gypsum Board/ Paint
LVP Lux. Vinyl Plank
SV Sheet Vinyl
SAT Ship Acoust. Tile
RB Rubber Base
END OF FINISH SCHEDULE

CABINETS AND WINDOWS SCHEDULE

ITEM	LOCATION	MANUFACTURER	MODEL	FINISH	INSTALLATION	NOTES
	Meeting Room 100, Locker Room 102A, Shower Room 102B, Toilet Room 101, Office 104 & 104A	Meridian	RB-1	RB-1	Per Manufacturer recommendation	

ITEM

Meeting Room 100, Locker Room 102A, Shower Room 102B, Toilet Room 101, Office 104 & 104A

RB-1

ITEM

Meeting Room 100, Locker Room 102A, Shower Room 102B, Toilet Room 101, Office 104 & 104A

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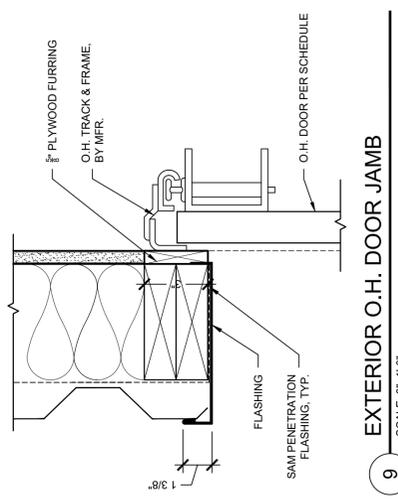
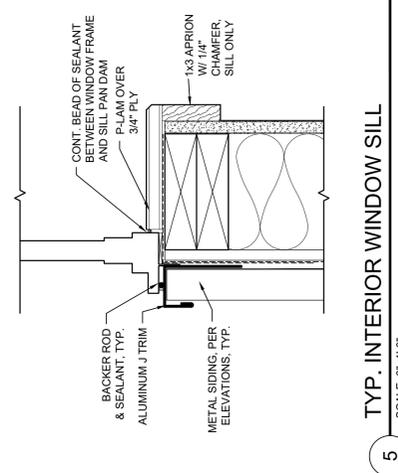
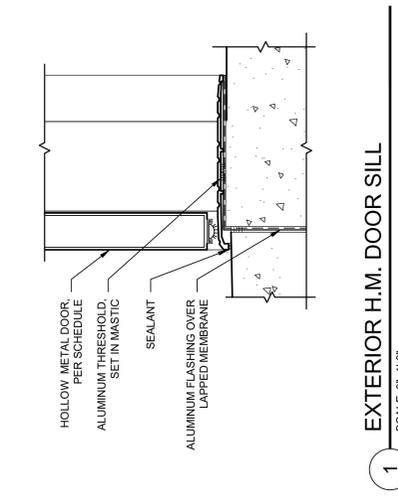
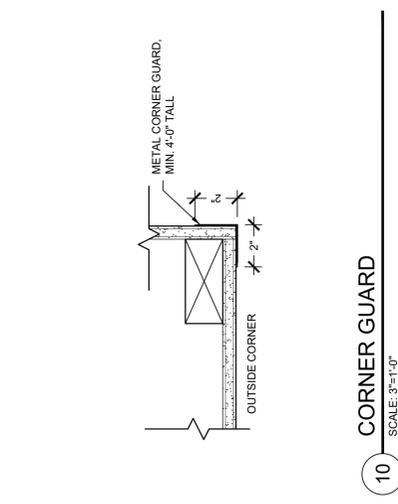
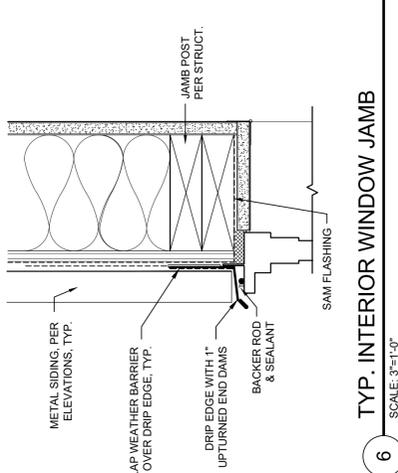
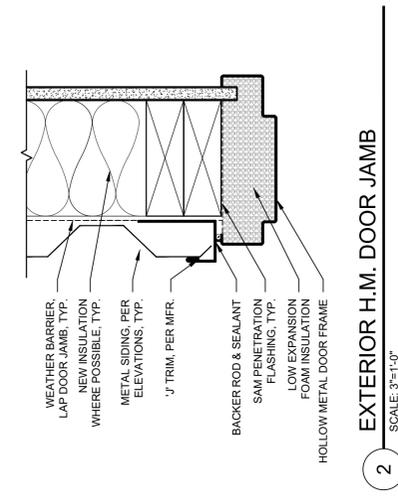
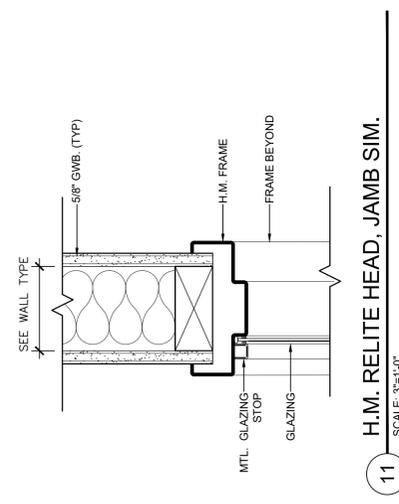
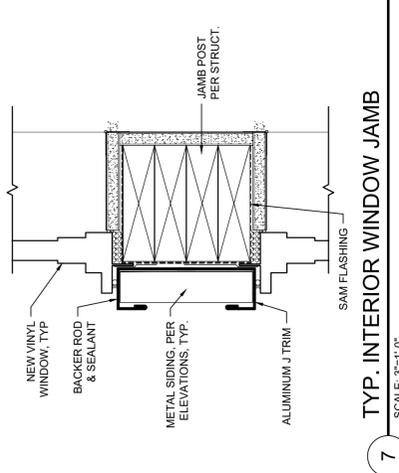
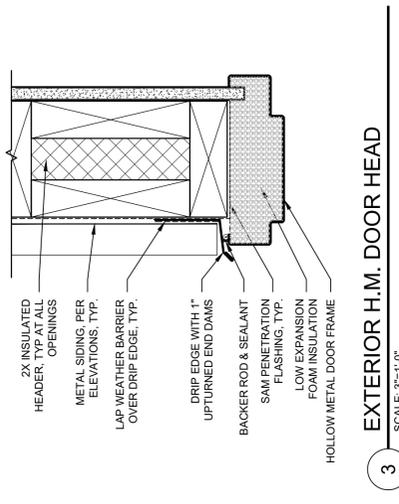
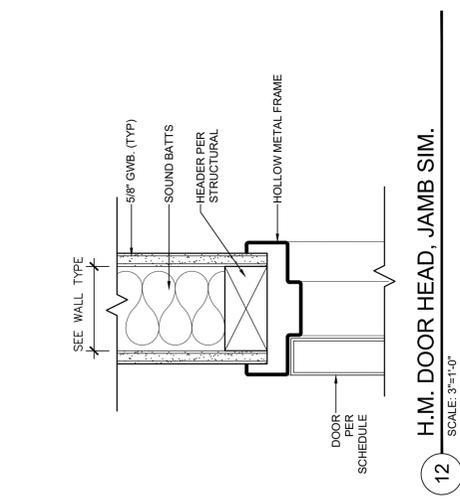
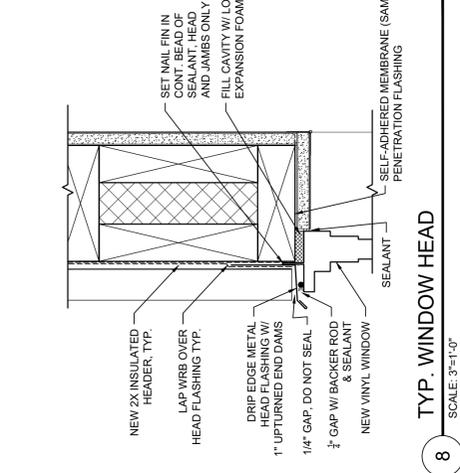
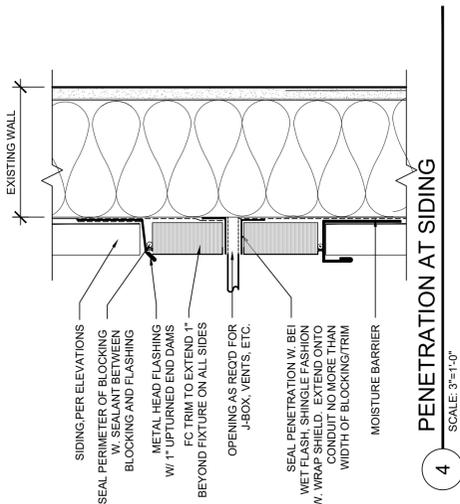
Meeting Room 100, Locker Room 102A, Shower Room 102B, Toilet Room 101, Office 104 & 104A

RB-1

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Meeting Room 100, Locker Room 102A, Shower Room 102B, Toilet Room 101, Office 104 & 104A

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AREA 'Z' MAINT. SHED

SUDDEN VALLEY
ASSOCIATION
4 CLUBHOUSE RD
BELLINGHAM, WA

JOB NO: 202203.14
DATE: 08.15.2023

BID SET
08.15.2023

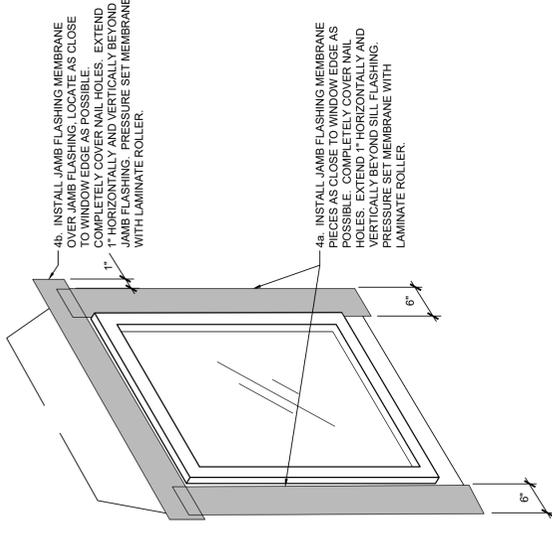
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WINDOW & DOOR DETAILS

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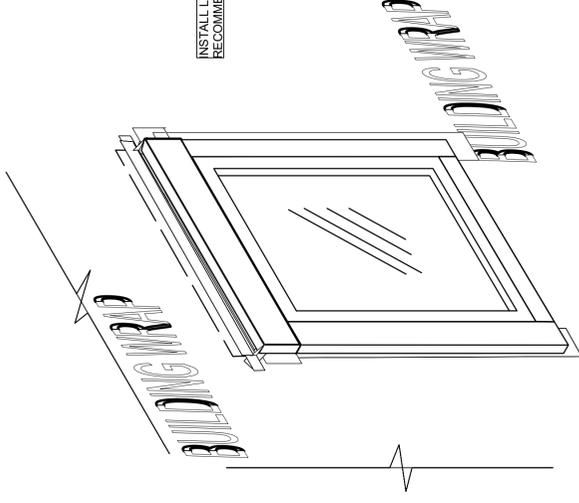
THE UNDERSIGNED HAS PROVIDED BUILDING ENCLOSURE DOCUMENTS THAT IN MY PROFESSIONAL JUDGMENT ARE APPROPRIATE TO SATISFY THE REQUIREMENTS OF RCW 64.55.055 THROUGH 64.55.090. DETAILS INCORPORATE USE OF EXISTING WIDELY USED BUILDING ENVELOPE PROTECTION TECHNOLOGIES. DETAILS SUBJECT TO REVIEW AND UPDATE AS SYSTEMS ADVANCE.

THIRD PARTY INSPECTION AND CERTIFICATION REQUIRED FOR WEATEHR ENVELOPE SYSTEM



4 STEP 4
SCALE: NTS

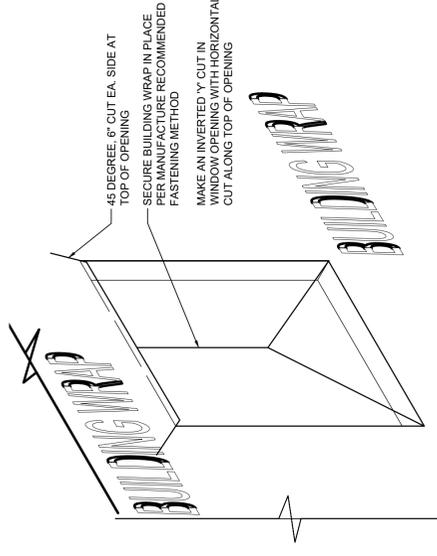
INSTALL LAP SIDING PER MFRS RECOMMENDED PROCEDURES



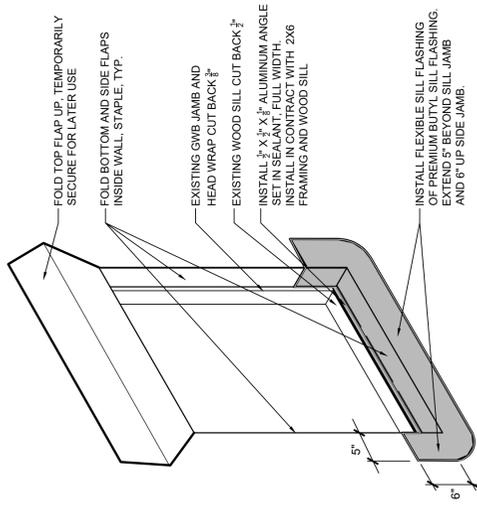
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GENERAL WEATHERPROOFING INSTALLATION NOTES:

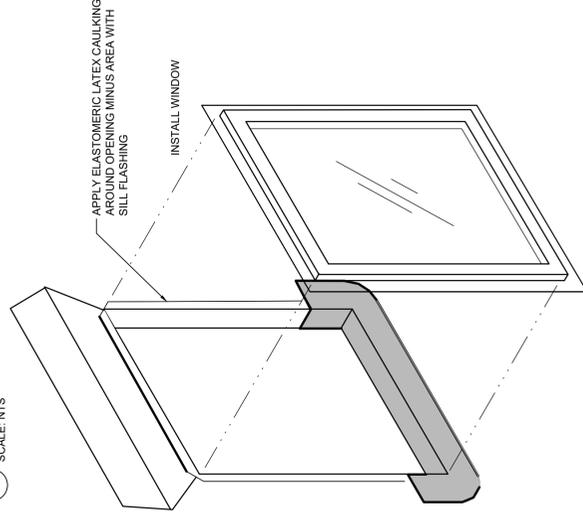
- INSTALL FLASHING, MEMBRANES AND SEALANT DURING FAVORABLE WEATHER CONDITIONS. INSURE PROPER ADHESION, CONTACT AND SEAL PRIOR TO COVERING
- VERIFY COMPATIBILITY WITH DISSIMILAR MATERIALS. CONFIRM EXPANSION TOLERANCES WITH MANUFACTURE PRIOR TO INSTALLATION.
- INSTALL LIKE PRODUCTS ACCORDING TO MANUFACTURES GUIDELINES.
- DO NOT COVER SUBSTANDARD OR SUSPECT INSTALLATION OF ANY OTHER TRADE.
- ALL EXTERIOR WALL & ROOF OPENINGS, FLASHING, COUNTER-FLASHING, EXPANSION JOINTS, BACKER-ROD, SEALANT AND FASTENERS TO BE CONSTRUCTED IN A WORKMAN LIKE MANNER REQUIRED TO MAKE THEM WEATHERPROOF AND WATERTIGHT.
- WARRANTY ALL WORK FOR ONE YEAR MINIMUM.



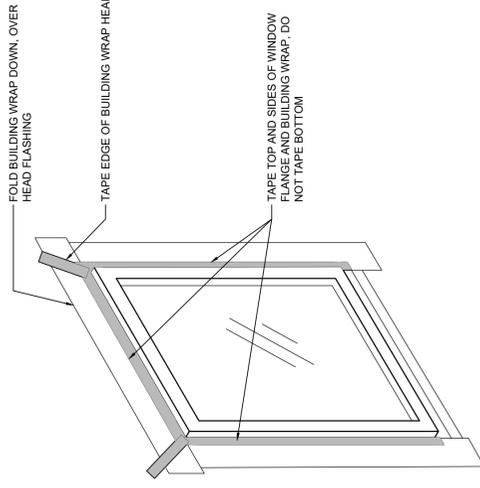
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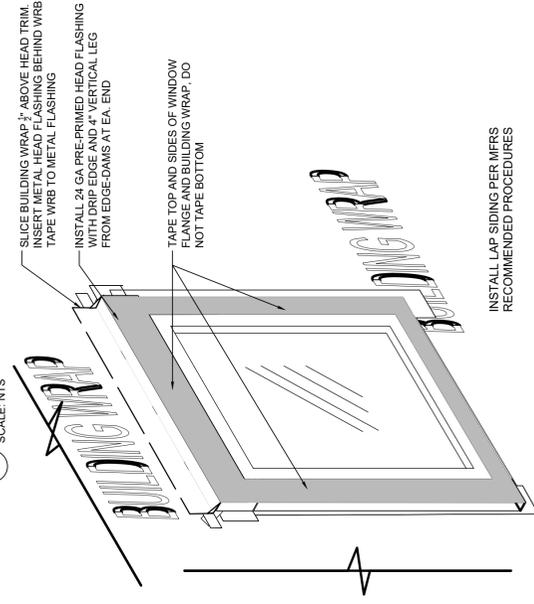
2 STEP 2
SCALE: NTS



3 STEP 3
SCALE: NTS



5 STEP 5
SCALE: NTS



6 STEP 6
SCALE: NTS

**AREA 'Z'
MAINT. SHED**

SUDDEN VALLEY
ASSOCIATION
4 CLUBHOUSE RD
BELLINGHAM, WA

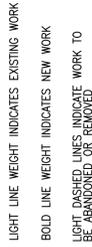
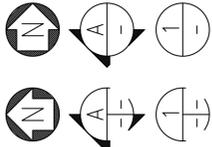
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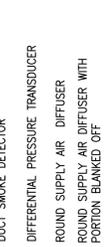
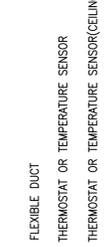
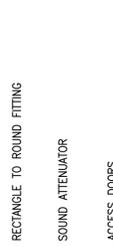
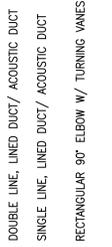
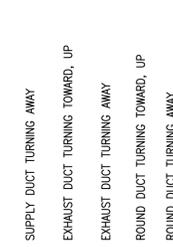
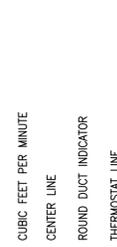
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**WINDOW FLASHING
DETAILS**

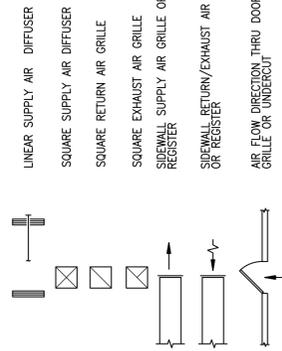
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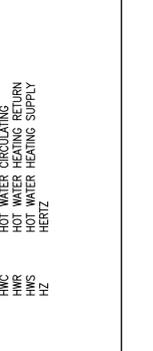
HVAC



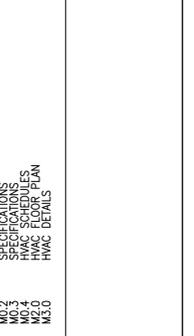
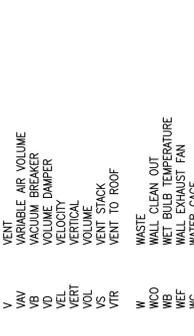
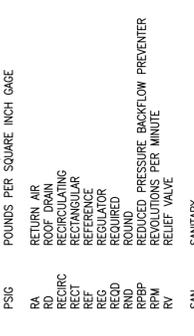
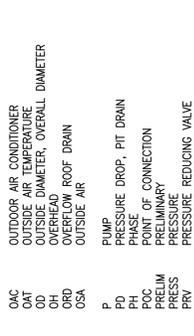
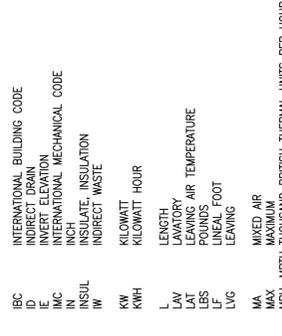
HVAC (CONT.)



ABBREVIATIONS



ABBREVIATIONS (CONT.)



GENERAL NOTES:

1. COMPLETE INSTALLATION OF THE MECHANICAL SYSTEM SHALL BE PER THE LATEST ADOPTED VERSION OF INTERNATIONAL BUILDING CODE (IBC), INTERNATIONAL MECHANICAL CODE (IMC), WASHINGTON STATE ENERGY CODE (WSEC), UNIFORM PLUMBING CODE (UPC), INTERNATIONAL FUEL GAS CODE (IFGC), INTERNATIONAL FIRE CODE (IFC), NFPA AND HEALTH CODES AND REGULATIONS AS ADOPTED BY THE LOCAL JURISDICTIONS.

2. CONTRACTOR SHALL COORDINATE DIFFUSER, GRILLE AND REGISTER LOCATIONS AND DUCT ROUTING CLEARANCES WITH THE STRUCTURAL, REFLECTED CEILING AND LIGHTING PLANS.

3. MAKE ACCEPTABLE ACCESS PROVISIONS FOR REMOVAL OF FILTER AND MAINTENANCE FOR ALL INDOOR UNITS. REFER TO MANUFACTURER'S INSTALLATION GUIDE.

4. ALL CONTROL WIRE AND CONDUIT SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE.

5. WHEN MECHANICAL WORK (HVAC, PLUMBING, SHEET METAL, FIRE PROTECTION, ETC.) IS SUBCONTRACTED, IT SHALL BE THE MECHANICAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE SUBCONTRACTORS AND THE ASSOCIATED CONTRACTS. WHEN DISCREPANCIES ARISE PERTAINING TO WHICH CONTRACTOR PROVIDES A PARTICULAR ITEM OF THE MECHANICAL CONTRACT OR WHICH CONTRACTOR PROVIDES FINAL CONNECTIONS FOR A PARTICULAR ITEM OF THE MECHANICAL CONTRACT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE MECHANICAL CONTRACTOR.

6. THE LOCATIONS OF ALL ITEMS SHOWN ON THE DRAWINGS OR CALLED FOR IN THE DOCUMENTS THAT ARE NOT DEFINITELY FIXED BY DIMENSIONS ARE APPROXIMATE ONLY. THE EXACT LOCATIONS NECESSARY TO SECURE THE BEST CONDITIONS AND RESULTS MUST BE DETERMINED BY THE PROJECT SITE CONDITIONS AND SHALL HAVE THE APPROVAL OF THE ENGINEER BEFORE BEING INSTALLED. DO NOT SCALE DRAWINGS.

7. ALL GAS EQUIPMENT SHALL BE INSTALLED PER THEIR LISTINGS, IMC, UPC, IFGC AND LOCAL CODES.

8. ALL ROOF PENETRATIONS SHALL BE MINIMUM OF 5 FEET AWAY FROM THE AREA/OCCUPATION SEPARATION WALLS. ALL PIPE, DUCT AND CONDUIT PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE AND SMOKE STOPPED PER CODE.

9. ALL EQUIPMENT DAMPERS, PIPING, AND ACCESSORIES IN CONCEALED SPACES REQUIRING ACCESS SHALL HAVE ACCESS DOORS. ALL ACCESS DOORS IN FIRE RATED STRUCTURE SHALL BE FIRE RATED. COORDINATE LOCATIONS WITH ARCHITECT. CONTRACTOR TO PROVIDE ACCESS DOORS.

10. ALL EQUIPMENT SHALL BE FREE FROM DEFECTS IN MATERIAL, WORKMANSHIP, AND SHALL BE OF THE KIND AND QUALITY DESCRIBED HEREIN.

11. COORDINATE WITH THE STRUCTURAL ENGINEER AND GENERAL CONTRACTOR TO PROVIDE STRUCTURAL SUPPORT AND SEISMIC RESTRAINTS FOR ALL EQUIPMENT.

12. ALL EQUIPMENT SHALL BE APPROVED FOR INSTALLATION IN THE STATE OF WASHINGTON AND SHALL HAVE ALL CERTIFICATIONS AND RATINGS REQUIRED TO MEET ALL ENERGY, POLLUTION, ENVIRONMENTAL, SEISMIC, ETC. CODES AND REGULATIONS.

13. VERIFY ALL THE MECHANICAL EQUIPMENT'S ELECTRICAL LOADS VOLTAGE/PHASE, ETC. WITH ELECTRICAL CONTRACTOR PRIOR TO ORDERING.

14. WHERE MULTIPLE RISERS OR HORIZONTAL LOOPS ARE USED, BALANCING VALVES IN THE RETURN LINES ARE REQUIRED. A CHECK VALVE SHALL BE PROVIDED IN EACH RETURN TO PREVENT TEMPORARY REVERSAL OF FLOW.

15. PROVIDE ALL MATERIALS AND EQUIPMENT AND PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE AND OPERABLE MECHANICAL SYSTEMS AS INDICATED ON THE DRAWINGS, AS SPECIFIED AND AS REQUIRED BY IMC, UPC, IBC, WASHINGTON STATE ENERGY CODE AND ALL APPLICABLE LOCAL AMENDMENTS.

16. INSTALL ALL MECHANICAL EQUIPMENT AND APPURTENANCES IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS, CONTRACT DOCUMENTS, AND APPLICABLE CODES AND REGULATIONS.

2018 WASHINGTON STATE ENERGY CODE (WSEC) NOTES

1. HVAC EQUIPMENT SHALL HAVE MINIMUM PERFORMANCE AT SPECIFIED RATING CONDITIONS NOT LESS THAN THE VALUES INDICATED IN TABLE C403.3.2(1) THRU C403.3.2(12) OF THE WSEC AND AS INDICATED ON THE CONTRACT DOCUMENTS.

2. PROVIDE DEADBAND BETWEEN HEATING/COOLING SPACE SENSOR SETPOINTS OF 5 DEGREES AS REQUIRED BY SECTION C403.4.1.2 OF THE WSEC OR AS DESCRIBED IN THE TEMPERATURE CONTROL SEQUENCES, IF PROVIDED.

3. HVAC SYSTEMS SHALL BE EQUIPPED WITH AUTOMATIC CONTROLS CAPABLE OF ACCUMULATING SETBACK OR SHUTDOWN DURING UNOCCUPIED PERIODS AS REQUIRED BY SECTION C403.4.2 OF THE WSEC AND AS DESCRIBED IN THE TEMPERATURE CONTROL SEQUENCES, IF PROVIDED.

4. PROVIDE BALANCING DEVICES IN ALL BRANCH DUCTS AND PIPE RUNS TO TERMINAL DEVICES AS REQUIRED BY SECTION C403.2.2 AND C403.2.1 OF THE WSEC AND AS INDICATED ON THE CONTRACT DOCUMENTS.

5. ALL DUCTWORK SHALL COMPLY WITH SMACNA STANDARDS FOR CONSTRUCTION OF GALVANIZED DUCTWORK. ALL DUCTWORK SHALL BE SEALED AS REQUIRED BY SECTION C403.10.1 "DUCT AND PLENUM INSULATION AND SEALING" OF THE WSEC. DUCT TAPE NOT ALLOWED.

6. ALL DUCTWORK SHALL BE INSULATED AS REQUIRED BY SECTION C403.10.1 "DUCT AND PLENUM INSULATION AND SEALING" OF THE WSEC.

7. ALL PIPING SHALL BE INSULATED AS REQUIRED BY SECTION C403.10.3 OF THE WSEC.

8. HEATING AND COOLING EQUIPMENT FANS, CIRCULATION PUMPS AND TERMINAL UNIT FANS SHALL BE SHUT OFF DURING UNOCCUPIED PERIODS AS REQUIRED BY SECTION C403.3.5.2 OF THE WSEC AND AS DESCRIBED IN THE TEMPERATURE CONTROL SEQUENCES, IF PROVIDED.

9. SUPPLY AIR AND WATER TEMPERATURES SHALL BE AUTOMATICALLY RESET AS REQUIRED IN SECTION C403.4.4 AND C403.6.4 OF THE WSEC OR AS DESCRIBED IN THE TEMPERATURE CONTROL SEQUENCES, IF PROVIDED.

10. ALL AIR SYSTEMS SHALL BE PROVIDED WITH A LOCK CAPABLE AIR ECONOMIZER CAPABILITY AS REQUIRED BY THE SECTION C403.5 OF THE WSEC AND AS DESCRIBED IN THE TEMPERATURE CONTROL SEQUENCES, IF PROVIDED.

11. AIR ECONOMIZERS SHALL BE CAPABLE OF PROVIDING PARTIAL COOLING EVEN WHEN ADDITIONAL MECHANICAL COOLING IS REQUIRED TO MEET THE REMAINDER OF THE COOLING LOAD, AS REQUIRED IN SECTION 403.5.1 OF THE WSEC.

12. SIMULTANEOUS HEATING AND COOLING TO INDIVIDUAL ZONES SHALL BE PROHIBITED AS DESCRIBED IN THE TEMPERATURE CONTROL SEQUENCES EXCEPT WHERE PERMITTED IN SECTION C403.4.1, EXCEPTIONS 1 THROUGH 3 OF THE WSEC.

13. VARIABLE FREQUENCY DRIVES SHALL BE PROVIDED FOR VARIABLE FLOW HEATING AND AIR HANDLING SYSTEMS AS REQUIRED BY SECTION C403.2.3 OF THE WSEC AND AS DESCRIBED IN THE CONTRACT DOCUMENTS INCLUDING TEMPERATURE CONTROL SEQUENCES, IF PROVIDED.

14. MOTOR EFFICIENCY SHALL NOT BE LESS THAN THE MINIMUM CALCULATED PER SECTION C405.8 OF THE WSEC FOR FULL LOAD EFFICIENCIES.

15. HVAC SYSTEMS SHALL BE BALANCED AS REQUIRED BY SECTION C408.2 OF THE WSEC.

16. ELECTRIC WATER HEATERS LOCATED IN UNOCCUPIED SPACES OR ON CONCRETE FLOORS SHALL BE SEPARATED FROM THE SUPPORTING SURFACE WITH R-10 RIGID INSULATION AS DESCRIBED IN SECTION C404.5 OF THE WSEC.



8021 Shore Avenue
P 4257/44 4033
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SUDEN VALLEY
MAINTENANCE SHOP
4 CLUBHOUSE CIRCLE
BELLINGHAM, WA 98229

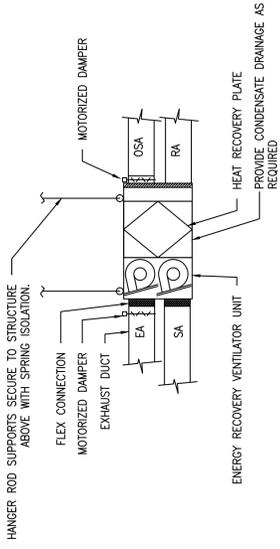
Table with 2 columns: NO, DATE, BY, DESCRIPTION

LEGENDS AND NOTES

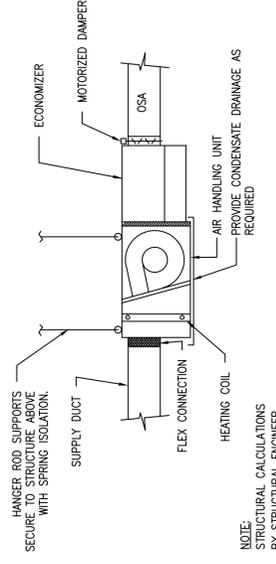
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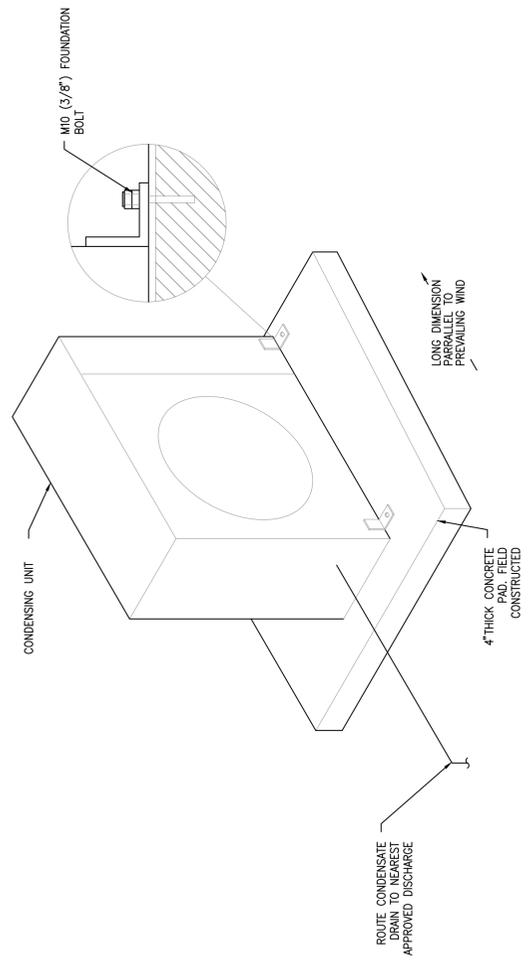
PERMIT SET 8-14-2023



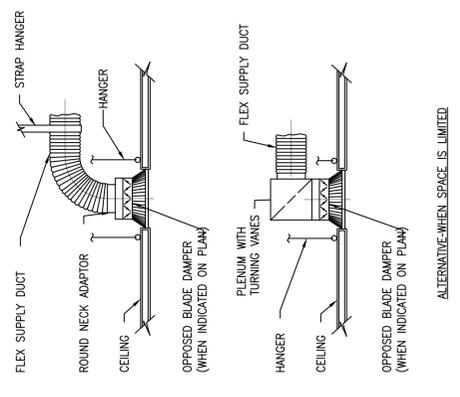
1 ENERGY RECOVERY VENTILATOR DETAIL
SCALE: NTS



3 AIR HANDLING UNIT DETAIL
SCALE: NTS



2 HEAT PUMP UNIT ON CONCRETE PAD DETAIL
SCALE: NTS



4 CEILING DIFFUSER TAKE-OFF
SCALE: N.T.S.



REVISIONS	
NO.	DATE BY DESCRIPTION
1	8/14/23 RR
2	8/14/23 KB
3	8/14/23 RR
4	8/14/23 RR
5	8/14/23 RR
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7	8/14/23 RR
8	8/14/23 RR
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Whatcom County
 Planning and Development Services
 5280 Northwest Drive
 Bellingham, WA 98226
 Phone 360-778-5900
 Inspection 360-778-5902
 epermits@co.whatcom.wa.us

Permit

Permit Number: **COM2023-00018**

Permit Type: **Building (Commercial)**

Commercial Permit

Work Classification: **Alteration-TI**

Issue Date: **06/16/2023**

Permit Status: **Issued**

Location Address

2800 LAKE LOUISE RD, Bellingham, WA 98229

Parcel Number

3704073823790000

Contacts

Sudden Valley Community Association
 4 CLUBHOUSE CIR, Bellingham, WA 98229
 (360)734-6430
 accadmin@suddenvalley.com
Owner

SARAH BROWN
 3222 EAGLERIDGE WAY, BELLINGHAM, WA 98226
 sarah@sbarchdesign.com
Applicant

Tyler Andrews
 PO Box 30498, Bellingham, WA 98228
 tylera@pnwcivil.com
 PNWCIC1834C2
 02/22/2025
Contractor

Construction Permit Details

Proposed Work: Tenant Improvement Permit - Sudden Valley Maintenance Building - Project includes updated amenities. Reconfigure 975sf

Bldg. SQ. FT.

New Sq. Footage	975	Original SF	0
Total Sq. Footage	975		

Building Info

Basement	No	Census Code	A-200 Addition/Remodel
Foundation	Other	No. of Stories	1
Number of Bathrooms	1	Number of Units	1
Occupancy Group:	B, S1	Occupany Load	9
Sprinklered	No	Type of Construction:	VB
Type of Work:	REMOD		

Set Back

Setback Front Ft.	P/L Lake Louise	Setback Rear Ft.	P/L
Setback Side1 Ft.	P/L	Setback Side2 Ft.	P/L

Site or Approval Info

Commercial Project Type	Private Business	New Well Constructed after 1/19/2018	No
Shoreline	No		

POST THIS PERMIT ONSITE WITH THE APPROVED PLANS
 COMPLIANCE WITH ALL INSPECTIONS AND CONDITIONS REQUIRED PRIOR TO OCCUPANCY

ALL INSPECTIONS SHOULD BE SCHEDULED A MIMIMUM OF 1 BUSINESS DAY IN ADVANCE
 INSPECTION LINE 360-778-5902 or online at <https://www.whatcomcounty.us/582/Scheduling>



Whatcom County
 Planning and Development Services
 5280 Northwest Drive
 Bellingham, WA 98226
 Phone 360-778-5900
 Inspection 360-778-5902
 epermits@co.whatcom.wa.us

Permit

Permit Status: **Issued**

Permit Number: **COM2023-00018**
 Permit Type: **Building (Commercial)**
 Commercial Permit
 Work Classification: **Alteration-TI**
 Issue Date: **06/16/2023**

Inspections

Inspection Type	Inspection Card (call inspections in the order they appear below)
Standard Inspections	Contractors, please call or schedule your inspection in this order
Pre-Construction (Com)	
Ground Plumbing	
Rough Frame & Roof	
Rough Plumbing	
Insulation - Walls	
Final Development (PW)	
Final Flood	
Final Planning/Zoning	
Final Natural Resources	
Fire Final Inspection	
Final Building	

Condition Name
<p>1 BS - IRC/IBC APPV TO CONSTRUCT IRC/IBC - Approved to construct, subject to field inspections, special inspections, corrections and provisions of plan review.</p>
<p>2 BS - IRC/IBC/IMC VENTILATION REQD Per IRC/WAC 51-51 Section R303.2, every space intended for human occupancy shall be equipped with source specific and whole house ventilation systems designed and installed as specified in IRC/WAC 51-51 Sections M1507 and M1508.</p>
<p>3 BS - IRC/IBC DEFERED SUBMITTALS Deferred submittals shall be submitted to the registered design professional in charge for review and general conformance with the building/structure design prior to submittal to Whatcom County. Once received by Whatcom County, deferred submittals must be approved by the Building Official. Deferred submittal items shall not be installed until design documents are approved, per IBC Section 107.3.4.2. All systems are to remain accessible until approved for cover.</p>
<p>4 Fill and Grade Condition Fill and grading activities are not included within the scope of this permit. Please contact Whatcom County Planning and Development Services in the event fill and grade activities are proposed.</p>
<p>5 BS - IRC/IBC PLANS & INSP RECORD Approved plans shall be kept on the building or work site at all times during which the work authorized thereby is in progress. Work requiring a permit shall not be commenced until the Inspection Record Card is posted or otherwise made available in a convenient location. (IRC Sections R105.7 & R106.3.1 / IBC Sections 105.7 & 107.3.1)</p>
<p>6 LU Conformance with site plan All activity on site shall be done in accordance with the site plan approved by the Whatcom County Planning and Development Natural Resources Division. Any alterations from the approved site plan will require further review by Planning and Development Services.</p>
<p>7 BS - IRC/IBC ANY DEVIATION IBC/IRC - Any deviation in construction from approved plans requires prior review and approval by Whatcom County Planning and Development Building Services and Land Use Departments.</p>
<p>8 BS - IRC/IBC WORK SITE POSTING The established address for the proposed work site shall be posted on a substantial, weather-resistant sign in a location readily visible from the public way. In all cases, when applicable, the sign shall also include the corresponding division and/or lot number. NO EXCEPTIONS. Sign lettering must have sufficient contrast from the sign background. Lettering must be clear, readable and large enough to be discernible from a passing vehicle. Signs are required to be posted prior to any inspection requests and shall remain visible for the duration of the project construction.</p>

POST THIS PERMIT ONSITE WITH THE APPROVED PLANS
 COMPLIANCE WITH ALL INSPECTIONS AND CONDITIONS REQUIRED PRIOR TO OCCUPANCY

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 INSPECTION LINE 360-778-5902 or online at <https://www.whatcomcounty.us/582/Scheduling>

Building Envelope Requirements List, pg 1 of 8

2018 WSEC Requirements for Commercial Buildings including Group R2, R3 & R4 over 3 stories & all R1 -- Administered by ©2023 NEEA, All rights reserved

The following information is necessary to check a building permit application for compliance with the building envelope requirements in the Washington State Energy Code, Commercial Provisions.

For questions about this report, contact WSEC Commercial Technical Support at 360-539-5300 or via email at com.techsupport@waenergycodes.com

Project:
Sudden Valley Area 'Z' Maintenance Shed TI - 2018 WSEC
4 Clubhouse Road
Bellingham, WA

**REVIEWED FOR
COMPLIANCE**

Date: 2023-02-27

Applies	Code Section	Component	Compliance Information Required In Permit Documentation	Location in Documents	Building Department Notes
SCOPE					
	C103.1	Construction documents - General	For a tenant space (first build-out) project, indicate if there is no envelope scope included in the project.		
	C103.1	Construction documents - General	For an alteration project, indicate if there is no envelope scope included in the project.		
	C402.1.1.1	Low energy spaces	Identify low energy spaces on plans; include calculations if applicable that demonstrate eligibility for envelope provisions exemption		
	C402.1.1.2	Semi-heated spaces	Identify semi-heated spaces on plans, include mechanical heating system type and calculations that demonstrate eligibility for wall insulation exemption		
	C402.1.1.3	Greenhouse spaces	Identify greenhouse spaces on plans; include non-opaque assembly information and mechanical heating system type if applicable, that demonstrates eligibility for envelope provisions exemption		
	C402.1.2	Equipment buildings	Provide building sf area, average wall and roof U-factor, installed electrical and mechanical equipment information and heating setpoint restriction, that demonstrates eligibility for envelope provisions exemption		
	C402.1.2.1	Standalone elevator hoistways	Provide building area, average wall and roof U-factor, installed mechanical equipment information and heating setpoint restriction, that demonstrates eligibility for envelope provisions exemption		
	C410.2	Walk-in cooler and freezer spaces	Identify walk-in cooler and freezer spaces on plans; including site assembled, site constructed and prefabricated units		
			Identify warehouse cooler and freezer spaces on plans		
	C101.4.1	Mixed residential & commercial building	Identify spaces with different occupancy requirements on plans		
	C503.2	Change of space conditioning alteration	Identify on plans existing unconditioned spaces changing to semi-heated or conditioned space, and existing semi-heated spaces changing to conditioned space; provide calculations for existing and final level of space conditioning		
	C505.1	Change of occupancy alteration	Identify on plans existing F, S and U-occupancy spaces undergoing a change in occupancy and final occupancy type		

Building Envelope Requirements List, pg 2 of 8

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			Group R spaces permitted before July 1, 2002 that are undergoing a change to a commercial occupancy shall be identified on plans		
			Commercial (non-Group R) occupancy spaces undergoing a change to Group R shall be identified on plans		
ENVELOPE PROVISIONS					
YES	C103.2 C103.6.3 C402.1.3 C402.1.4 C402.1.5	Compliance documentation	Indicate envelope thermal performance compliance path (prescriptive or component performance) and provide WSEC envelope compliance reports	compliance forms	
			If complying via component performance, demonstrate that the Proposed Total UA is equal to or less than the Allowable Total UA		
			If complying via total building performance, provide a list of all proposed envelope component types, areas and U-values		
	C303.1.1 C303.1.2	Insulation identification	Indicate identification mark shall be applied to all insulation materials and insulation installed such that the mark is readily observable during inspection		
YES	C303.1.3 C402.4.3	Fenestration product rating	Indicate fenestration products shall be labeled with NFRC U-factor, SHGC, VT and leakage rating, or if products do not have an NFRC rating, indicate applicable Chapter 3 default values	NFRC Rating from manufacturer	
	C303.1.1 C402.2.1	General insulation installation	Indicate installation methods, thicknesses, densities and clearances to achieve the intended R-value of all insulation materials		
			Where two or more layers of rigid insulation will be used, indicate that edge joints between layers are staggered, or exception taken		
	C103.2 C402.2.1	Roof assembly insulation	Indicate R-value(s) of cavity/continuous insulation on roof sections		
			Indicate framing materials on roof sections		
			Indicate method of framing for ceilings below vented attics and vaulted ceilings per A102.2 (std, adv)		
			Provide area weighted average U-factor calculation for insulation whose thickness varies by 1 inch or less		
			Indicate effective U-factors of tapered insulation entirely above deck per A102.2.6; include roof configuration and slope, maximum R-value at peak and minimum R-value at low point for all roof surfaces		
			Indicate R-values for thermal spacers and each insulation layer, and liner system (LS) method for metal building roofs		

Building Envelope Requirements List, pg 3 of 8

2018 WSEC Requirements for Commercial Buildings including Group R2, R3 & R4 over 3 stories & all R1 -- Administered by ©2023 NEEA, All rights reserved

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	C402.2.1.1	Skylight curb insulation	Indicate skylight curb insulation R-value on roof section, if not included in skylight NFRC rating		
	C402.2.1.2	Rooftop HVAC equipment curbs	Indicate rooftop HVAC equipment curb insulation R-value on roof section		
	C103.2 C402.2.3 C402.2.4 C303.2.1	Above/below grade wall insulation	Indicate R-value(s) of cavity/continuous insulation on wall sections		
			Indicate framing materials on wall sections		
			Indicate method of framing for wood construction per A103.2 (std, int, adv)		
			Indicate material density category, wall weight and heat capacity for qualifying mass walls		
			For qualifying ASTM C90 masonry walls, indicate loose-fill core insulation material and percentage of cores filled including grouted cores, bond beams, vertical fills, headers and any other grouted cores		
			Indicate method of protection of exposed exterior basement/crawlspace wall insulation		
YES			C103.2 C402.4.4	Opaque doors	Indicate rated U-factor or R-value (non-swinging) on wall sections or in door schedules - applies to doors with less than 50% glazed area
YES	C402.4.4	Garage doors	Indicate rated U-factor for sectional and tilt-up garage doors on wall sections or in door schedules - applies to garage doors with less than 14% glazed area; all other garage doors shall comply as opaque doors	G0.01	
	C402.2.5	Floor over outdoor or unconditioned space insulation	Indicate R-value(s) of cavity/continuous insulation on floor sections		
			Indicate framing material on floor sections		
			Indicate material density category and weight of qualifying mass floors		
	C402.2.6 C303.2.1	Slab-on-grade floor insulation	Indicate R-value of continuous insulation on wall section or foundation detail		
			Indicate insulation extends down vertically and/or horizontally the required distance from top of slab		
			Indicate method of protection of exposed exterior slab edge insulation		
			Indicate R-value of continuous insulation on wall section or foundation detail		
			Indicate insulation extends down vertically from top of slab and then horizontally under the entire slab		
			Indicate method of protection of exposed exterior slab edge insulation		

Building Envelope Requirements List, pg 4 of 8

2018 WSEC Requirements for Commercial Buildings including Group R2, R3 & R4 over 3 stories & all R1 -- Administered by ©2023 NEEA, All rights reserved

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	C402.2.8	Radiant heating system insulation	Indicate insulation R-value behind radiant panels, U-bend/headers and bottom surface of radiantly heated floors (other than heated slab-on-grade)		
	C402.4.1 C502.2.1	Vertical fenestration maximum area	Provide total gross sf area of all above grade wall elements and rough opening sf area of all vertical fenestration elements in the building, for the prescriptive max allowed window-to-wall ratio (WWR) calculation in the WSEC envelope compliance reports; demonstrate compliance for each space conditioning category separately		
	C402.4.1.1 C405.2.4.1 C502.2.1	Increased prescriptive maximum vertical fenestration area with daylight zones and controls	Provide calculations showing that not less than 50% of the total conditioned floor area is within a daylight zone; demonstrate compliance for each space conditioning category separately		
			Indicate in envelope plans that all lighting fixtures located within daylight zones shall be provided with daylight responsive controls per Section C405.2.4.1		
			Indicate that the VT of vertical fenestration is at least 1.1 times the rated SHGC or no less than VT-0.55, whichever is greater		
	C402.4.1.3 C502.2.1	Increased prescriptive maximum vertical fenestration area with high-performance glazing	Indicate high performance U-factors and SHGC values in fenestration schedules		
			Indicate if an area-weighted U-factor is used for multiple fenestration elements within the same fenestration category per Table C402.4; provide area-weighted U-factor calculation		
	C402.1.5	Wall/vertical fenestration target area adjustment	Indicate if component performance with target area adjustment will be used to account for vertical fenestration area in excess of the prescriptive maximum allowed; include target area adjustment in WSEC envelope compliance reports		
	C402.4.1 C502.2.2	Skylight maximum area	Provide total gross sf area of roof, and rough opening sf area of all skylight elements in the building, for the prescriptive max allowed skylight-to-roof ratio (SRR) calculation in the WSEC envelope compliance reports; demonstrate compliance for each space conditioning category separately		
	C402.1.5.2	Roof/skylight target area adjustment	Indicate if component performance with target area adjustment will be used to account for skylight area in excess of the prescriptive maximum allowed; include target area adjustment in WSEC envelope compliance reports		
YES	C402.4 C402.4.3.4 C303.1.3	U-factors, SHGC and VT for all fenestration assemblies	Indicate U-factors, SHGC and VT values in fenestration schedules	G0.01	

Building Envelope Requirements List, pg 5 of 8

2018 WSEC Requirements for Commercial Buildings including Group R2, R3 & R4 over 3 stories & all R1 -- Administered by ©2023 NEEA, All rights reserved

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			Indicate if an area-weighted U-factor is used for multiple fenestration elements within the same fenestration category per Table C402.4; provide area-weighted U-factor calculation		
YES			Indicate if values are NFRC or default; if default then specify frame type, glazing layers, gap width, low-e coatings, gas-fill	NFRC	
	C402.4.3	Permanent shading devices	For each group of windows with similar orientation and overhang or permanent projection geometry, provide projection factor calculations (Equation C4-6) for north and non-north orientations		
	C402.4.2	Single story spaces requiring skylights	Provide list of enclosed, single story spaces that exceed 2,500 sf; for each space identify the space use, floor area, floor to ceiling height, whether skylights are installed, and any exception taken		
			Provide calculations for percentage of conditioned floor area located within a toplit daylight zone; if exception is taken for spaces where the total floor area minus the sidelit zone area is less than 2,500 sf, include percentage of conditioned floor area located within a sidelit daylight zone in calculations		
			Provide calculations for percentage of skylight area in each space over 2,500 SF, OR		
			Provide calculations for skylight effective aperture (Equation C4-5) for each space over 2,500 SF		
			Indicate haze factor of skylight glazing material or diffuser		
	C410.2	Walk-in and warehouse cooler and freezer envelope	Indicate insulation R-value in cooler and freezer wall and ceiling assemblies		
			Indicate cooler and freezer door insulation R-value; indicate method of minimizing infiltration (strip doors, curtains, spring-hinged doors, etc); provide automatic door closure (or note exception taken)		
			For transparent reach-in doors and fixed windows, indicate number of glass panes (double or triple pane); identify whether the interstitial spaces between panes is filled with inert gas or if panes are heat-reflective treated glass		
ADDITIONAL EFFICIENCY CREDITS - ENHANCED ENVELOPE PERFORMANCE					
	C406.10	Enhanced envelope performance	To comply with additional efficiency credit, demonstrate envelope thermal performance compliance via component performance; provide WSEC envelope compliance reports that demonstrate Proposed Total UA is 15% lower than the Allowable Total UA		

Building Envelope Requirements List, pg 6 of 8

2018 WSEC Requirements for Commercial Buildings including Group R2, R3 & R4 over 3 stories & all R1 -- Administered by ©2023 NEEA, All rights reserved

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AIR LEAKAGE					
	C402.5.1.1	Air barrier construction and sealing	Identify location and provide diagram of continuous air barrier in plans and sections		
			Provide details for all joints, transitions in materials, penetrations in air barrier and note method of sealing (caulked, gasketed, or other approved method)		
	C402.5.3 C402.1.3 C402.1.4	Rooms containing fuel burning space conditioning appliances	For room(s) located within the conditioned space that contain non-direct vent fuel-burning appliances that require outdoor air for combustion, indicate method of isolation from the conditioned space; include sealing of walls, floor and ceiling of room, doorway gasketing and sealing around ductwork and piping penetrations		
			Indicate walls, floor and ceiling of the room envelope are insulated to the same level required for exterior envelope, and combustion air ductwork that passes thru conditioned space is insulated to at least R-8		
	C402.5.4	Doors and access openings to shafts, chutes, stairways and elevator lobbies	Indicate locations of all doors and access openings to shafts, chutes, stairways and elevator lobbies		
			Indicate method of sealing of these openings (gasketing, weatherstripping, other sealing method); or exception taken		
	C402.5.5 C403.7.8	Outdoor air intakes, exhausts and relief openings	Indicate locations of all stairway enclosure, elevator shaft and building pressurization relief openings, outside air intakes and exhaust openings		
			Note in envelope plans that all relief, outside air intake and exhaust openings shall be provided with dampers in accordance with Mechanical Section C403.7.8		
	C402.5.8	Recessed lighting in building envelope	Indicate method of sealing between light fixture housing and wall or ceiling		
			Note in envelope plans that all recessed lighting fixtures shall be IC rated and have an air leakage rating not greater than 2 cfm per ASTM E283 test; include these requirements in lighting fixture schedules		
	C402.5.6	Loading dock seals	Indicate weather seal at cargo and loading dock doors		
	C402.5.7	Vestibules	Indicate locations and dimensions of vestibules for building entrances; also indicate vestibule information for exit-only doors in buildings where separate doors for entering and exiting are provided		
			Indicate locations of all building entrances and exit-only doors provided with an air curtain in lieu of a vestibule		

Building Envelope Requirements List, pg 7 of 8

2018 WSEC Requirements for Commercial Buildings including Group R2, R3 & R4 over 3 stories & all R1 -- Administered by ©2023 NEEA, All rights reserved

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			Indicate exception and criteria utilized for all building entrances and exit-only doors that do not have a vestibule or air curtain		
			Indicate required performance for air curtains installed per Exception 7		
			For unconditioned vestibules, indicate which envelope assembly (interior or exterior) complies with the requirements for a conditioned space		
	C103.2 C402.5.1.2C 402.5.1.2.1 R402.4.1.2	Building enclosure air leakage test	Indicate in project documents that building enclosure air leakage testing is required for WSEC compliance		
			Provide area calculations that account for all six sides of the air barrier boundaries		
			For commercial buildings, indicate that building enclosure air leakage testing shall be performed per ASTM C779 (or equivalent method approved by the code official) and the target leakage rate is 0.25 cfm/ft ² (1.5 L/s*m ²) at 0.3 in. wg (75 Pa)		
			If the building is mixed residential / commercial and three stories or less above grade plane, indicate which building enclosure air leakage test procedure will be used for the Group R-2 / R-3 areas (Section R402.4.1.2 or C402.5.1.2); if per R402.4.1.2, indicate that the target leakage rate is 5 air changes per hour at 0.2 in. wg (50 Pa)		
			Include the following requirements in project documents: (1) Submit building enclosure air leakage test reports to jurisdiction and owner; (2) If initial test result exceeds 0.25 cfm/ft ² (1.5 L/s*m ²), indicate that inspection and all practical corrective actions be completed and documented in the air leakage test report; (3) If initial test result exceeds 0.40 cfm/ft ² (2.0 L/s*m ²), indicate that corrective actions shall also include re-testing; (4) Indicate that corrective measures and retesting must be repeated until the test result is 0.40 cfm/ft ² (2.0 L/s*m ²) or less; (4) Include air barrier test report in project close out documentation provided to building owner.		

ADDITIONAL EFFICIENCY CREDITS - REDUCED AIR INFILTRATION

	C406.9	Reduced air infiltration	To comply with additional efficiency credit, indicate in project documents that the building enclosure air leakage test results shall not exceed 0.17 cfm/ft ² at 0.3 in. wg (75 Pa); all documentation requirements per C103.2 and C402.5.1.2 apply		
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ALTERATIONS

Building Envelope Requirements List, pg 8 of 8

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	C503.1 C503.3.1	Roof alteration - insulation	For a roof alteration where existing ceiling cavities are exposed, indicate cavities are insulated to full depth at minimum nominal value of R-3.0 per inch		
			For a roof covering replacement where insulation is installed entirely above the roof deck, indicate insulation complies with requirements for new construction per Tables C402.1.3 or C402.1.4		
YES	C503.1	Wall and floor alteration - insulation	For a wall or floor alteration (floor over outdoor or unconditioned space) where existing envelope cavities are exposed, indicate cavities are insulated to full depth at minimum nominal value of R-3.0 per inch	forms	
YES	C503.3.2	Addition of vertical fenestration	Where the addition of new vertical fenestration results in a window-to-wall ratio (WWR) exceeding the prescriptive maximum allowed per C402.4.1, demonstrate method of compliance (prescriptive vertical fenestration alternate, component performance with target area adjustment for the alteration area and existing-to-remain areas combined, or total building performance per C407); demonstrate for each space conditioning category separately	forms	
NO	C503.3.3	Addition of skylights	Where the addition of new skylights results in a skylight-to-roof ratio (SRR) exceeding the prescriptive maximum allowed per C402.4.1, demonstrate method of compliance (component performance compliance with target area adjustment for the alteration area and existing-to-remain areas combined, or total building performance per C407), demonstrate for each space conditioning category separately		
	C103.2 C103.6.3 C503.2 C505.1	Change in space conditioning or occupancy compliance documentation	Indicate envelope alteration thermal performance compliance path (prescriptive or component performance with 110% allowance); provide WSEC envelope compliance reports		
	C103.2 C103.6.3 C503.2C 505.1	Change in space conditioning or occupancy compliance documentation	If complying via total building performance with 110% allowance, provide a list of all proposed envelope component types, areas and U-values		
PROJECT CLOSE OUT DOCUMENTATION					
	C103.6.3	Project close out documentation requirements	Indicate in plans that project close out documentation is required including applicable calculations, WSEC envelope compliance reports, and fenestration NFRC rating certificates		

CONSTRUCTION CONTRACT

This Construction Contract, including all appendices, (the "Contract") is made and entered into by and between Owner and Contractor on the date of the last signature below for the construction of the project described below.

OWNER

Owner's Name	Sudden Valley Community Association
Address	ATTN: General Manager 4 Clubhouse Circle Bellingham, WA 98229
Telephone Number	(360) 734-6490

CONTRACTOR

Contractor's Name	
Address	
Telephone Number	
Contractor's Authorized Representative	
Federal Identification Number	
Registration Number	
Washington UBI Number	

For and in consideration of the Contract Price noted below, subject to the terms and conditions contained herein, Contractor agrees to perform the following work (the "Work") in a timely and workmanlike manner, including supplying all necessary supervision, materials, equipment, supplies, and skilled and sufficient workforce to fully, completely, and faithfully comply with all the terms and conditions of this Contract.

1. **PROJECT.** The Project is described as follows:

Project Name: _____

Project Location: _____

2. WORK. The Contractor agrees to perform the following Work in accordance with all applicable laws, codes, and industry standards to construct the Project as follows:

(Insert and list above a precise description of the Work covered by this Subcontract, referring to the numbers of drawings and pages and/or sections of specifications including any applicable addenda and/or alternates, etc.)

3. CONTRACT DOCUMENTS. In addition to this Contract and the enclosed Standard Contract General Conditions, the Contract Documents for this Contract consist of:

Description of Document	Date

Any conflicting provisions in the Construction Documents shall be interpreted harmoniously if possible or, in the event they cannot be reconciled, then they shall be interpreted in the manner most favorable to the Owner, and the interpretation shall be governed in the following priority:

- i. This Contract;
- ii. Any drawings and/or specifications provided by the Owner;
- iii. Any Change Orders executed by and between the Owner and Contractor after execution of this Contract; and
- iv. The Contractor's Proposal.

4. CONTRACT PRICE. The Owner shall pay the Contractor \$_____, plus Washington State sales tax, for all Work completed in conformance with this Contract and the Construction Documents.

5. TIME OF PERFORMANCE. The Contractor shall commence construction no later than _____ (the "Commencement Date"), and Contractor shall complete all Work within _____ days of the Commencement Date (the "Contract Time"). The parties agree that time is of the essence of this Contract and the Owner will suffer damage and be put to additional expenses in the event that the Contractor does not have the Work substantially complete by the end of the Contract Time.

(CHECK IF APPLICABLE) Because it is difficult to accurately compute the amount of such costs and damages, the Contractor hereby covenants and agrees to pay to the Owner liquidated damages of \$_____ per day for each day that expires after the time set forth above, which the Contractor and Owner agree reasonably approximates Owner's actual damages.

6. INSURANCE. Contractor shall purchase and maintain insurance in the following amounts on a per occurrence and aggregate basis naming the Owner as an additional insured by endorsement. All such insurance shall be primary to any coverage carried by Owner. Contractor shall provide Owner evidence of such coverage prior to commencing the Work.

	Per Occurrence Coverage	Aggregate Coverage
General Commercial Liability	\$1,000,000	\$2,000,000
Automobile Liability	\$250,000 or such higher amount as Contractor currently carries	NA

7. **GENERAL CONDITIONS.** The Standard Contract General Conditions (the "General Conditions") are attached hereto are incorporated herein by this reference.

8. **REPRESENTATIONS.** The Owner and the Contractor represent and warrant that the following statements are true and accurate:

THIS CONTRACT CONTAINS AN INDEMNIFICATION OF CERTAIN LIABILITIES AND A WAIVER OF CONTRACTOR'S TITLE 51 RCW IMMUNITY.

IN WITNESS WHEREOF, Owner and Contractor have executed this Contract, effective the date of the last authorized signature below.

OWNER:

CONTRACTOR:

SUDDEN VALLEY COMMUNITY
ASSOCIATION

Date: _____

By: _____

Its: _____

Date: _____