



# Sudden Valley Community Association

360-734-6430

4 Clubhouse Circle Bellingham, WA 98229

www.suddenvalley.com

## **Board of Directors Regular Meeting**

March 14<sup>h</sup>, 2024, 7:00 PM, DANCE BARN

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Call to Order

Land Acknowledgement & Anti-Racism Statement

Roll Call

Item 1) Adoption of Agenda

Item 2) Consent Agenda

2a. Minutes – February 8, 2024, Amended

2b. Minutes – February 22, 2024

Item 3) Announcements

3a. New Golf Director

3b. Board & Committee Vacancies

Item 4) Property Owner Comments – 15 Minutes Total

*Please note that comments are limited to 3 minutes per person.*

Item 5) General Manager's Report

Item 6) Continuing Business

6a. Code of Conduct/Grievance Procedure

6b. Tour of Facilities & Strategic Planning Retreat Scheduling

6c. Marina Wet Slip Update

Item 7) New Business

7a. 2024 Events List and Calendar Discussion

7b. LRPC Board Appointments (2<sup>nd</sup> Director and Staff Personnel)

7c. Appeals Committee Alternate Member

7d. Approval Requests

i. Lien Fees

ii. Pool Services Agreement

7e. Capital Requests

i. Tennis Court Contract Award

Item 8) Closed Session

8a. Van de Polder Appeal

8b. Legal Update

Adjournment



## REGULAR SESSION OF THE BOARD OF DIRECTORS

Thursday, February 08, 2024

Minutes

**DATE AND LOCATION:** Dance Barn  
**CALLED TO ORDER AT:** 7.01PM  
**AUDIENCE MEMBERS:** Not Recorded

**BOARD MEMBERS PRESENT:**

1. Keith McLean	4. Laurie Robinson-Zoom	7. AJ Tischleder-Excused	10. Robb Gibbs
2. Taimi Van de Polder-	5. Sonia Veldt	8. Rick Asai	11. Daniel Rodriguez
3. Linda Bradley	6. Sam Shahan	9 Stu Mitchell	

**ATTENDING:**

**Staff Members:** Jo Anne Jensen, General Manager. Kyle Kaltenbach, COS.

**Call to Order**

President McLean called the meeting to order at 7:01PM.  
 Land Acknowledgement and Anti-Racism Statement.

**1. President called for a motion to adopt the agenda. Director Bradley Moved to Adopt Agenda.**

<b>Motion By:</b> Director Bradley		<b>Seconded By:</b> Director Van De Polder	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained</b>	

**2. President Moved to Approve Consent Agenda.**

<b>Motion By:</b> Director McLean		<b>Seconded By:</b> Director Asai	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained</b>	

**3. Announcements:** Movie night 2/16. Storm brush collection on Saturday at Area Z 2/10.

**4. Property owner comments.**

Comments regarding the upcoming Marina fees to be voted on by the Board.

**5. GM Report**

**6. Continuing Business**

**6a. Code of Conduct** – Discussed amending the 2017 Code of Conduct to include additional language and brought forward for Board’s final review at the next Board meeting. Suggest the Code be created as a policy so that it can be tracked and referenced when necessary. Then forwarded it to the attorney.

**6b. Grievance Process Revisions-** Discussed the procedure. Edits suggested and finalized the timing of the grievance process. Suggest the Grievance Procedure be created as a policy so that it can be tracked and referenced, when necessary, agreed to amend the procedure and submit for Board's final review at the next Board meeting.

**6c. Approval of LRPC Members**

**Motion:** make a motion to the board to approve, adding Tom Redd and Nancy Alyanak to the Long Range Planning Committee.

<b>Motion By:</b> Director Shahan		<b>Seconded By:</b> Director Bradley	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained</b>	

**7. New Business**

**7a. Set date for Strategic Planning Meeting and Facilities Tour.** Send out email to the Board and LRPC members asking their availability to tour our facilities during the week then set the dates and who will be touring on which days. May need a weekend day. Arrange for a Strategic Planning Meeting date once everyone has taken the tour. Email to attendees be sent out by Monday 2/12.

**Point of Order:** Prior to item 7b. 2024 Marina Fees discussion Director Shahan raised a point of order to make a motion that we debate only the request that was approved by the members in the AGM ballot. The President recognized Director Shahan's motion and had the vote taken by the Board.

Motion: We debate only the request that was approved by the members in the AGM ballot.

<b>Motion By:</b> Director Shahan		<b>Seconded By</b> Director Voldt	
<b>Approved:</b>	<b>Not Approved:</b> X	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> 2	<b>Against:</b> 7	<b>Abstained</b>	

**Point of Order:** Director Voldt-according to the SVCA Bylaws, it specifically states that Board members shall recuse themselves from discussion of an action at issue and abstain from discussing and voting on any motion in which they have a direct or substantial interest not common for other members of the association.

The President responded with a request to have the proposed marina schedule discussed and listen to all directors' discussion. Given that the \$1200 amount in question was only an advisory vote not requiring a specific response. The full schedule includes several component rates to be set that should be voted on by all directors.

**7b. Approval Request -2024 Marina Fees**

**Motion 1:** Amending the proposed fees for non-residents \$1,200.

<b>Motion By:</b> Director Mc Lean		<b>Seconded By:</b> Director Gibbs	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained</b>	

**Motion 2:** Move that the Board of directors approve the proposed Marina fees rate increase for residents, and the movement of \$105,600 from Operations to CRRRF.

<b>Motion By:</b> Director McLean		<b>Seconded</b> Director Bradley	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor</b> 7	<b>Against:</b> 1	<b>Abstained</b>	

**Motion 3:** Move reducing dry slip storage fees for residents from 5% to 2% increase from \$555.00 to \$539.00.

<b>Motion By:</b> Director Gibbs		<b>Seconded</b> Director Bradley	
<b>Approved:</b>	<b>Not Approved:</b> X	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor</b>	<b>Against:</b> Unanimous	<b>Abstained</b>	

**7c. Volunteer Program Approval**

**Motion:** Move that the Board of Directors approve the proposed Sudden Valley Volunteers program.

<b>Motion By:</b> Director McLean		<b>Seconded</b> Director Van De Polder	
<b>Approved:</b>	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> 7	<b>Against:</b> 1	<b>Abstained</b>	

**8. Closed Session**

**Move to go into closed session at 10:25PM.**

<b>Motion By:</b> Director Bradley		<b>Seconded By</b> Director Van de Polder	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained:</b>	

Return to Open Session

**Motion:** Move to open session at 11:38.

<b>Motion By:</b> Director McLean		<b>Seconded By</b> Director Van de Polder	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained:</b>	

We have a motion to be taken out of closed session.

**Motion:** Move that the Board SVCA Board approve the Teamsters CBA for the year term beginning January 1, 2024, through December 31, 2026, including wage revisions for two individuals as noted.

<b>Motion By:</b> Director Bradley		<b>Seconded By</b> Director McLean	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained:</b>	

**Motion:** Move to adjourn.

<b>Motion By:</b> Director Van De Polder		<b>Seconded By</b> Director Voldt	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained:</b>	

**Adjourned: 11:48PM**

Approved by: \_\_\_\_\_

Linda Bradley, Board of Directors Secretary



## REGULAR SESSION OF THE BOARD OF DIRECTORS

Thursday, February 28, 2024

Minutes

**DATE AND LOCATION:** Dance Barn

**CALLED TO ORDER AT:** 7:04PM.

**AUDIENCE MEMBERS:** Not Recorded

### BOARD MEMBERS PRESENT:

1. Keith McLean	4. Laurie Robinson	7. Rick Asai	10. Robb Gibbs-via Zoom
2. Taimi Van de Polder	5. Sonia Voldt	8. Stu Mitchell	11.
3. Linda Bradley	6. AJ Tischleder- excused	9. Daniel Rodriguez	

### ATTENDING: J

**Staff Members:** Jo Anne Jensen, General Manager. Joel Heverling, Finance Director

#### Call to Order

President McLean called the meeting to order at 7:04PM. Land Acknowledgement and Anti-Racism Statement.

- 1. President Moved to Amend the Agenda to remove the consent agenda.**
- 2. President Moved to Adopt Amended Agenda.**

<b>Motion By:</b> Director McClean		<b>Seconded By:</b> Director Bradley	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor: Unanimous</b>	<b>Against:</b>	<b>Abstained</b>	

### 3. Announcements.

### 4. Property owner comments.

Homeowners made comments. Presentation by a Member regarding rental of an area in the Community Center for music lessons.

### 5. Financial Report-

### 6. Continuing Business

6a. Code of Conduct

6b. Grievance Procedure

Discussion is to move this forward to our next meeting with additional language designating an impartial third party to receive grievances if needed in Step 3 and modify language regarding mediation.

6c. Tour of Facilities Scheduling

The GM will be meeting with an LRPC member to discuss facilities tours and the timing of the strategic planning session that will follow. Will bring back set dates for each at the next meeting.

**7) New Business**

**a. Form Appeals Committee**

The Board appointed Laurie Robinson and Keith McLean to the Appeals Committee.

**b. Capital requests.**

Motion made to combine items 1,2,3,4,6,8, 10 into a single consent agenda.

<b>Motion By:</b> Director McLean		<b>Seconded By:</b> N/C	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>		

Motion to approve items 1,2,3,4,6,8, 10, on the consent agenda.

<b>Motion By:</b> Director McLean		<b>Seconded By:</b> N/C	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>		

Items

1. Turf Care Tractor Replacement- \$50,936.70
2. Turf Care Sand Trap Rake Replacement \$ 32,578.91
3. Clubhouse HVAC- \$22,176.00
4. 2024 Fast Response Drainage Funds- \$88,400
6. 2024 On-Call Engineering Funds- \$41,600
8. Bridge Inspections- \$5,561.00
10. Road & Drainage Project-
  - i. \$699,00-Deer Lane Lane-asphalt overlay and 40-45 culvert replacements.
  - ii. \$30,000- Complete Cold Spring Drainage improvements
  - iii. \$30,000-Renewal of two SVCA Permits: 5-year Programmatic Permit, and renewal of 5-year permit with Whatcom County allowance maintenance of gravel surfaces at 3 locations.
5. Move that the Board of directors approve the allocation of \$125,320 from Roads Reserve for the 2024 ditches, culverts, and swales. CVC Project with funds to be administered by the Maintenance and Facilities Manager.

<b>Motion By:</b> Director Robinson		<b>Seconded By:</b> N/C	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained</b>	

7. Move that the Board of Directors approve the allocation of \$36,400.00 from the 2024 Capital Budget for Roads for potholes and minor road repairs in 2024.

<b>Motion By:</b> Director Bradley		<b>Seconded By:</b> N/C	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained</b>	

9. Move that the SVCA Board of Directors approve the allocation of \$131,003.84 from the 2024 Capital Budget for Roads for design and permitting per PNW's summary dated February 6, 2024, for the 2024 Bridge Design Project.

<b>Motion By:</b> Director Bradley		<b>Seconded By</b> N/C	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained</b>	

- i. Move that the SVCA Board of Directors authorize the General Manager to execute contracts. with Chinook Engineering per their proposals dated February 2<sup>nd</sup>, 2024, with total amounts not to exceed \$77,620.

<b>Motion By:</b> Director Bradley		<b>Seconded By</b> N/C	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained</b>	

- ii. Move that the SVCA Board of Directors authorize the General Manager to execute a contract with NW Geologic PLLC per their proposal dated February 5, 2024, with a not to exceed amount of \$13,000.00.

<b>Motion By:</b> Director Bradley		<b>Seconded By</b> N/C	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained</b>	

### 8) Closed Session

9:02PM Motion to move into closed session.

<b>Motion By:</b> Director McLean		<b>Seconded By</b> N/C	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained</b>	

9:25PM Motion to return to open Session, no action taken as a result of the closed session.

<b>Motion By:</b> Director McLean		<b>Seconded By</b> N/C	
<b>Approved:</b> X	<b>Not Approved:</b>	<b>Tabled:</b>	<b>Died:</b>
<b>In Favor:</b> Unanimous	<b>Against:</b>	<b>Abstained</b>	

Adjourned: 9:26PM



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## BOARD OF DIRECTORS MEMO

**To:** Sudden Valley Community Association Board of Directors  
**From:** Jo Anne Jensen, General Manager  
**Date:** March 14, 2024  
**Subject:** Revisions to Grievance Procedure

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### **Background**

At the Board Meeting held 2/22/24, the board discussed the need for an Ombudsman to participate in the proposed grievance procedure and it was agreed that I would pursue options for providing this service. Unfortunately, our parliamentarian has not responded and the other entities to which I reached out do not provide that service. Further, when conducting broad-scope searches online I could not identify any organization that offered the service and it is not one that is routinely offered by parliamentarians.

### **Proposal**

To remove the need for an Ombudsman, I've revised Step 3 of the grievance procedure to include mediation by a third-party facilitated by SVCA. Because of the notification requirements in Step 2, there would be oversight of the actions taken by leadership to resolve the issues raised. Similarly, Step 3 requires that all Board Directors be notified of a request for mediation, ensuring that oversight continues at this stage. For this reason, I believe that an Ombudsman is not required.

At the last board meeting, some concern was voiced over who would bear the cost of mediation. In a phone call with a representative of the Whatcom County Dispute Resolution Center, I learned that opening a case costs \$25 and mediation is charged at \$140/hour. I was told that most disputes are resolved in an average of 3 hours.

### **Request**

Request that the SVCA Board of Directors review the revised grievance procedure to prepare for discussion at the March 14<sup>th</sup> meeting.



## SVCA Resolution of Grievances Policy

### Purpose

The Sudden Valley Community Association recognizes that there are times when the need arises for volunteers to express concerns in a formal manner. The following procedures will ensure that volunteers receive a fair and unbiased review of their concerns and can follow a defined path in an effort to achieve a resolution. This policy is independent of, and is not intended to supersede or affect, SVCA policies and reporting procedures for harassment and/or discrimination complaints.

### Procedures

#### ***Step 1: Informal discussion with SVCA leadership (Confidential)***

A volunteer's concerns should first be discussed with either the Chair of their committee, the President of the Board of Directors, or the General Manager. Many concerns can be resolved informally when a volunteer and leadership take time to review the concern and discuss options to address the issue.

If the volunteer's concern is with the actions or general behavior of another volunteer or volunteers, the Committee Chair, President, or General Manager will ask for permission before sharing the concern with the individual or individuals involved.

#### ***Step 2: Written complaint to SVCA leadership***

If the volunteer is not satisfied with the results of the informal discussion described in Step 1, the volunteer may submit a written complaint within two weeks to either the Committee Chair, the President of the Board of Directors or the General Manager to include:

- The nature of the concern;
- Detailed information including evidence of the issue, witnesses, related policies, etc;
- The remedy or outcome desired.

A written complaint submitted by a committee member to their Committee Chair will automatically be shared with the President of the Board of Directors and the General Manager. A written complaint submitted by a Board Director will automatically be shared with all members of the Board of Directors. A report of the outcome/resolution of each complaint will also be shared with all members of the Board of Directors.

SVCA leadership will have two weeks to respond to the complainant in writing or to schedule a discussion between the complainant and other volunteer(s) that were named in the complaint. If a written complaint names a fellow volunteer(s) as the source of the concern, leadership will require that the complainant and the other named individual(s) meet to discuss the concern with both the President of the Board of Directors and the General Manager present. The President's role will be to facilitate the meeting; the General Manager will take notes detailing any agreement or follow-up actions.

If the complainant feels that the facilitated discussion has not adequately resolved their issues, they have the option of progressing to mediation as described in Step 3.

#### ***Step 3: Mediation by a third party***

If the complainant feels that the facilitated discussion has not adequately resolved their issues, they have the option of progressing to mediation. The request for mediation should include:

Policy: SVCA Resolution of Grievances Policy

Policy#: 2024.2

Date: February 22, 2024

- An explanation of the concern and details of all previous efforts to resolve the issue;
- A copy of the written complaint submitted to SVCA leadership;
- A copy of SVCA leadership's written response to the volunteer's complaint;
- Detailed information regarding the complainant's dissatisfaction with SVCA leadership's response.

Requests for mediation will automatically be shared with all members of the Board of Directors. A report of the outcome/resolution of mediation will also be shared with all members of the Board of Directors.

The President of the Board of Directors or the General Manager will facilitate the selection of a third-party mediator such as the Whatcom County Dispute Resolution Center. Once the mediation organization has been selected, they will manage the selection of a mediator and schedule discussions between the complainant and other individuals that were named in the complaint. The outcome of mediation will be final unless new evidence or other circumstances warrant additional review of the concern.

***Recordkeeping***

The General Manager will maintain records of this process confidentially and securely.



# Sudden Valley Community Association

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## APPROVAL REQUEST MEMO

**To:** Sudden Valley Community Association Board of Directors  
**From:** Joel Heverling, Finance Director  
**Date:** March 13th, 2024  
**Subject:** Approval Request – Lien Fees

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### Background/Analysis

Sudden Valley Community Association's (SVCA) currently listed amount for lien fees on the Fines and Fees Schedule is \$475, which includes both the initial recording of a lien and the final release of a lien once an account has been paid in full. This \$475 amount covered the association's total past cost to the county for lien recording and release fees of \$407 (\$203.50 x 2), plus an additional \$68 for SVCA's general administration costs.

Additionally, as of January 1, 2024, the county has now increased its total recording and release lien fees from \$407 to \$607 (\$303.50 x 2), and SVCA will in turn need to increase its current lien fees to continue to recover its costs as well. See attached listing of Whatcom County's updated recording costs.

### Recommendation

It is recommended that the Board of Directors increase the lien fees on SVCA's Fines and Fees Schedule from \$475 to \$675. This amount will cover the county's updated total recording and release lien fees to SVCA of \$607, plus continue to provide an additional \$68 for SVCA's general administration costs.

### Motion

Move that the SVCA Board of Directors approve the increase of lien fees from \$475 to \$675 to reflect the increase in fees assessed by Whatcom County.

### Approvals

Recommended: \_\_\_\_\_ Not Recommended: \_\_\_\_\_ SVCA Finance Committee

Approved: \_\_\_\_\_ Not Approved: \_\_\_\_\_ SVCA Board of Directors

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Keith McLean, SVCA Board President

# Whatcom County Auditor's Office

Whatcom County Courthouse  
311 Grand Avenue, Suite 103  
Bellingham, WA 98225-4038  
360-778-5100

E-mail: [recording@co.whatcom.wa.us](mailto:recording@co.whatcom.wa.us)



Stacy Henthorn  
Auditor

Amy Grasher  
Chief Deputy Auditor

**Effective Jan 01, 2024**

## RECORDING FEES

FEE TYPE	RATE
<b>Recording instruments, including UCCs</b>	
First Page	\$303.50
Each additional page on all documents	\$ 1.00
<b>EXCEPTIONS</b>	
First page:	
Appointment of Successor Trustee - only applies to previously recorded deeds of trust RCW 36.22.179 (3)	\$ 18.00
Assignment of Deed of Trust	\$ 18.00
Binding Site Plan (18"x24")	\$423.50
Birth Certificate	\$ 18.00
Certificate of Marriage	\$ 18.00
Condominium (12"x18")	\$423.50
Death Certificate	\$ 18.00
Deed of Trust	\$304.50
Decree of Divorce	\$ 18.00
District Water Liens & Releases	\$ 18.00
Employment Security Liens & Releases	\$ 15.00
Federal Tax Liens & Releases	\$ 16.00
Long Plat (24"x24") (If plat exceeds 100 lots or 3 signatures, additional charge of \$.50/lot and \$1/signature)	\$423.50
Lot Line Adjustment (8 ½" x 14" or less)	\$403.50
Monument/Land Corner	\$ 0.00
Name Change	\$203.50
Request for Exemption from Public Disclosure of Discharge	\$ 7.00
Resignation of Trustee - only applies to previously recorded deeds of trust RCW 36.22.179 (3)	\$ 18.00
Short Plat/Lot Line Adjustment (18"x24")	\$423.50
State, County, City Liens & Releases	\$ 18.00
Surveys (18"x24") (additional pages \$5 each)	\$423.50
Wage Liens & Releases	\$ 18.00
Recording non-standard "emergency" documents (in addition to regular document fee)	\$ 50.00
If document covers more than one transaction type	<b>Fee based on each document type</b>
<b>OTHER FEES</b>	
Certified Copies	\$3.00 1 <sup>st</sup> page \$1.00 each add'l
Full size copies of maps	\$5.00 1 <sup>st</sup> page \$3.00 each add'l
Marriage License	\$62.00
Photocopies (11"x17" or smaller)	\$1.00 /per page
Process Server Registration	\$10.00
Searching records, per hour; copies not included	\$8.00
Subscription for document images daily	\$ .015 per image



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**APPROVAL REQUEST MEMO**

**To: Sudden Valley Community Association Board of Directors**  
**From: Jo Anne Jensen, General Manager**  
**Date: March 28, 2024**  
**Subject: Approval Request – Pool Services Agreement**

**Purpose**

To request approval to execute the 2024 Pool Services Agreement with Cesco Solutions.

**Background**

Cesco Solutions has provided chemicals and pool services to SVCA for many years. They have done a good job maintaining the health and safety of our pools. To obtain a permit for operating a public pool, a Certified Pool Operator must be under contract and Cesco satisfies that requirement.

**Proposal**

The proposed 2024 pool services agreement is similar to the agreement approved in 2023. The actual costs incurred in 2023 were slightly below the estimates given at the start of the season. We expect that, barring any unforeseen issues, 2024 costs will also be below estimate. The table below shows the breakout of estimated costs by category and shows a comparison to the 2023 estimates.

Category	2023 Estimated Cost	2024 Estimated Cost
Weekly Chemicals	\$1,282.81	\$1,283
Weekly Labor (6 hrs/wk)	\$825	\$825
Pool Controller System Rental (per week)	\$50	\$50
Per week Cost (w/tax)	\$2,343.38	\$2,343.59
Start up chemicals	\$3,536.96	\$3,500
Start up labor	\$4,000.00	\$2,400
Total (18 week season)	\$49,717.80	\$48,084.62

**Request**

Request that the SVCA Board of Directors approve the 2024 pool services agreement with Cesco Solutions and authorize the General Manager to execute the agreement.

**Motion**

Move that the SVCA Board of Directors approve the 2024 pool services agreement with Cesco Solutions and authorize the General Manager to execute the agreement.

**Approvals**

Recommended: \_\_\_\_\_ Not Recommended: \_\_\_\_\_ SVCA Finance Committee

Approved: \_\_\_\_\_ Not Approved: \_\_\_\_\_ SVCA Board of Directors

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Keith McLean, SVCA Board President



## Service and Lease Agreement

Sudden Valley Community Association and Cesco Solutions	
2650 Lake Lousie Rd Bellingham, WA 98225	2227 Midway Lane Bellingham, WA 98226

**PROJECT LOCATION AND DESCRIPTION:**  
 2024 weekly service contract for two pools at Sudden Valley. Includes: Pool Controller lease for large pool; service, maintenance, and chemicals.

**THIS SERVICE AND EQUIPMENT RENTAL AGREEMENT between:  
 Cesco Solutions and Sudden Valley Community Association**

Equipment	Quantity
Pool Chemical Controller	1 each

**2023 Season:**

- 2023 Estimated weekly chemical costs: \$1282.81. **Actual was about \$1006.**
- 2023 Estimated weekly labor \$825. **Actual was about the same.** (Without repairs.)
- 2023 Total seasonal labor including heater's service, pools start up and shut down. \$22,639.
- 2023 Total chemical purchases \$17,117.

**Term: 2024 Swimming season usually starts Mid-May to right after Labor Day September 3rd.**

- Pool controller lease \$50 per week
- 2024 Estimated weekly chemical costs \$1283.
- 2024 Estimated weekly labor \$825.
- Total Estimated Running Costs \$2158.per week at 8.6% tax \$185.59= \$2343.59. (This number doesn't include the heaters annual service, startup, and closure labor.)

Estimated Startup and shut down labor. \$2,400 (based on last year's excellent Cesco /Sudden V team effort.)  
 Pool Heater Service \$1375.00

- Weekly running cost estimated total is based on 6 hours of labor, pool controller lease and estimated chemical usage of chemicals used in a week.
- Chemical usage is directly related to weather and bather load. Chemical costs maybe more or less than estimated amounts and are invoiced weekly along with labor and pool controller lease. Sudden Valley will be billed for actual chemicals delivered (not estimated).
- Cesco will provide and maintain a lease Pool Chemical Controller System for Sudden Valley's large pool (Cesco Solutions to maintain ownership of the Pool Controller system). Sudden Valley owns a controller for the small (Adult) pool. It's in place and will need to be tuned up. The cost for a tune-up will likely be about \$200 if everything is in working order, worse case about \$500 if both the ph and orp sensors are bad.
- Chemistry will be set and maintained by Cesco and monitored by Sudden Valley.
- Sudden Valley is responsible for testing and recording daily pool chemical readings as required by law.
- Filter system cleanings and backwashes will be performed by Cesco.
- General cleaning of the pool(s) itself through the season to be performed by Sudden Valley staff unless they ask for Cesco's help. (We are happy to help.)
- Cesco will visit the pools 2 – 3 times a week during normal business hours (Monday – Friday, 7am to 5pm) to check on the pool systems/ chemistry and maintain levels. Additional hours above 6 hours per week (for issues) will be billed at Cesco's service rate of \$137.50. After hours on-site support will be billed at Cesco's after hour service rates \$206.25 hr. Phone support is free.
- Cesco is happy to provide employee training both initial and on-going so that Sudden Valley employees so can safely manage the day-to-day operations of vacuuming, cleaning, and performing daily pool chemistry tests.
- Accidental fecal releases will be the responsibility of Sudden Valley.
- Parts & Labor due to equipment failures/repairs are not included and will be billed at normal Cesco rates.
- Service, lease, and Chemical deliveries will be invoiced weekly.



# Sudden Valley Community Association

360-734-6430

4 Clubhouse Circle Bellingham, WA 98229

[www.suddenvalley.com](http://www.suddenvalley.com)

## CAPITAL REQUEST MEMO

**To:** Sudden Valley Community Association Board of Directors  
**From:** Jo Anne Jensen, General Manager  
**Date:** February 22, 2024  
**Subject:** Core Area: Tennis Court Resurfacing & Fencing  
SVCA Capital Code: 9723.05 – Change Order

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### Purpose

To request funding approval for the Core Area: Tennis Court Resurfacing & Fencing project.

### Background

On February 9, 2023, Sudden Valley Community Association (SVCA)'s Board of Directors approved design and permitting under capital code 9723.05 for improving the existing tennis courts located next to the main pool at Barn 8. Design and permitting was completed, and the project was issued for bid in July of 2023. However, the bids exceeded the budgeted amount and contractors were not available to complete the project in 2023; therefore, SVCA elected to reject the bids and rebid the project in 2024. Per PNW's summary dated February 9, 2024, the project was issued for bid a second time, and Stremler Gravel, Inc. is the lowest bidder with a construction bid of \$283,300.38. PNW's summary includes the initial capital request and bid packages for reference.

### Analysis

SVCA's 2024 budget includes \$191,278.00 for this project. The initial capital request for design and permitting used \$19,101.50 leaving a balance of \$172,176.50 available from the 2024 construction budget. The construction budget of \$295,615.38 per PNW's attached summary means the project will come in over the initial reserve study budget by \$123,438.88. However, with this project now put out for bid a second time, it appears the market price for completing repairs to the tennis courts was unfortunately higher than anticipated. It is doubtful that going to bid for a third time would lead to better results.

After design was completed, it was noted the southeast corner of the tennis court floods during heavy rain events. After investigation, it was determined that water is coming down the east slope adjacent to the tennis courts from pipe drains related to the building structures above. To mitigate this, we are proposing to install an infiltration trench for approximately 150' along the edge of asphalt to capture any excess surface water and prevent it from flooding the tennis courts. In addition, the 2 known pipe drains will be piped down the slope and connected to the infiltration trench. This will properly convey the stormwater from above the tennis courts and will prevent future erosion. This scope of work is anticipated to be added to Stremler Gravel's contract as a change order. This repair will model the infiltration trench that was installed along the north wall of Barn 8 in 2021 that has worked well to prevent annual flooding.



# Sudden Valley Community Association

360-734-6430  
4 Clubhouse Circle Bellingham, WA 98229  
www.suddenvalley.com

For this project to move forward, we are requesting change order funding in the amount of \$302,615.38:

- \$295,615.38 per PNW’s summary dated February 9, 2024 for construction.
- \$7,000.00 allowance to install an infiltration trench to prevent water from flooding the tennis court.

### Proposal

Authorize \$302,615.38 from CRRRF as change order funding for construction to capital code 9723.05. And authorize the General Manager to execute SVCA’s standard construction contract with Stremler Gravel, Inc. for completing the proposed repairs to the tennis court.

### Motion 1

Move that the SVCA Board of Directors approve the allocation of \$302,615.38 from CRRRF as change order funding to capital code 9723.05 for construction of the Core Area: Tennis Court Resurfacing & Fencing project.

### Motion 2

Move that the SVCA Board of Directs approve contract award to Stremler Gravel, Inc. per their proposal dated February 9<sup>h</sup>, 2024, and authorize the General Manager to execute SVCA’s standard construction contract.

### Approvals

Approved: \_\_\_\_\_ Not Approved: \_\_\_\_\_ SVCA Finance Committee

Approved: \_\_\_\_\_ Not Approved: \_\_\_\_\_ Board of Directors

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

ELECTED, SVCA Board President





February 9, 2024

Sudden Valley Community Association  
Attn: Mike Brock  
4 Clubhouse Circle  
Bellingham, WA 98229

RE: Project Scope Letter  
**Core Area: Tennis Court – Resurfacing & Fencing**  
**Contract Award Recommendation**

PNW is providing this contract award recommendation letter to SVCA for the Core Area: Tennis Court – Resurfacing & Fencing project. This tennis court is located adjacent to the Recreation Center, Barn 8, just past the main pool. On 2-9-23, SVCA’s Board approved design and permitting for this project to proceed. Attached for reference is the initial Board approval package. Design and permitting was completed, and the project was issued for bid in 2023 with bid results received 7-20-23. 2 bids were received with the low bidder at \$265,532.43. The 2023 bid results are attached for reference. SVCA’s budget for this project is \$189,925.00. With the project being substantially over budget, and construction not able to be completed in 2023 due to tennis court finishing contractor availability, SVCA elected to throw out the bids. The project was reissued for bid on 1-23-24, and the bid package was sent to 8 contractors.

- Stremler Gravel, Inc. – Bid Received
- Tiger Construction LTD. – Bid Received
- Western Refinery Services – No Bid
- Premium Services – No Bid
- NW Asphalt – No Bid
- Dirt Works Bellingham – No Bid
- Strider Construction – No Bid
- Ram Construction – No Bid

Bids were received on 2-9-24, and attached are the bid results including the engineer’s estimate. Also attached is the bid package for reference. The 2024 bid package matched the 2023 bid package with the exception of incorporating 2 addendums and updating the dates. A few specific notes regarding the project:

- Construction can’t start until 6-1-24 due to permit restrictions.
- The contract set 20 working days, not including cure time, as the contract period.
- Substantial completion was noted at 8-2-24 with final completion of 8-16-24.

The intent with issuing the bid in January was to access more availability with tennis court finishing specialty contractors. The scope of this work is specific to applying the acrylic surface and there is a limited number of contractors who perform this work. With more specialty contractors able to bid this scope, cheaper bids would most likely be provided. In addition, bidding in January with contract award in February should allow the project to proceed as planned in 2024 with contractors still having availability. Based on the bid results, PNW is recommending Stremler Gravel, Inc. be awarded the contract. Overall project costs anticipated:



<b>Tennis Court Resurfacing Construction Estimate</b>	
- Stremler Gravel per attached estimate dated 2-9-24.	\$283,300.38
- Impact Design – Submittal reviews and construction question allowance.	\$3,000.00
- PNW Services, Inc. – Construction oversight per attached.	\$9,315.00
<b>Total Construction Estimate</b>	<b>\$295,615.38</b>

Please let me know if you have any questions, or if you would like any further information.

Sincerely,

Tyler Andrews  
President

**February 9, 2024 - Bid Tabulation**

**Project: 2024 Tennis Court Repairs**

Item #	Description	Quantity	Unit	Engineers Estimate		Stremler Gravel, Inc.		Tiger Construction LTD.	
				Unit Price	Total	Unit Price	Total	Unit Price	Total
1	Mobilization	1	LS	\$ 15,000.00	\$ 15,000.00	\$ 36,100.00	\$ 36,100.00	\$ 33,000.00	\$ 33,000.00
2	Access & Restoration	1	LS	\$ 3,500.00	\$ 3,500.00	\$ 20,900.00	\$ 20,900.00	\$ 12,000.00	\$ 12,000.00
3	Asphalt Repairs	1490	SF	\$ 20.00	\$ 29,800.00	\$ 17.25	\$ 25,702.50	\$ 22.00	\$ 32,780.00
4	Nets & Post Replacements	1	LS	\$ 3,500.00	\$ 3,500.00	\$ 47,000.00	\$ 47,000.00	\$ 57,000.00	\$ 57,000.00
5	2" Asphalt Overlay	1	LS	\$ 53,400.00	\$ 53,400.00	\$ 45,800.00	\$ 45,800.00	\$ 53,000.00	\$ 53,000.00
6	Acrylic Surfacing	1	LS	\$ 37,800.00	\$ 37,800.00	\$ 50,000.00	\$ 50,000.00	\$ 51,000.00	\$ 51,000.00
7	Pavement Markings	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 11,200.00	\$ 11,200.00	\$ 9,000.00	\$ 9,000.00
8	Dog Park - 4' Fence Replacement	163	LF	\$ 40.00	\$ 6,520.00	\$ 74.07	\$ 12,073.41	\$ 45.00	\$ 7,335.00
9	Dog Park - 3' Man Gate	1	EA	\$ 500.00	\$ 500.00	\$ 590.00	\$ 590.00	\$ 430.00	\$ 430.00
10	Dog Park - 8' Equipment Gate	1	EA	\$ 750.00	\$ 750.00	\$ 1,500.00	\$ 1,500.00	\$ 1,100.00	\$ 1,100.00
11	Minor Changes	1	EST.	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00
	<b>Subtotal</b>				<b>\$165,770.00</b>		<b>\$260,865.91</b>		<b>\$266,645.00</b>
	<b>WSST @ 8.6%</b>				<b>\$ 14,256.22</b>		<b>\$ 22,434.47</b>		<b>\$ 22,931.47</b>
	<b>Total w/ WSST</b>				<b>\$180,026.22</b>		<b>\$283,300.38</b>		<b>\$289,576.47</b>

## SVCA Tennis Court Repairs

### Engineer's Estimate

February 8, 2024



Estimate Prepared by:  
**Impact Design, LLC**  
 5426 Barrett Road, Suite A103  
 Ferndale, WA 98248  
 Phone: (360) 389-8138

Client:  
**Tyler Andrews**  
**PNW Services, Inc.**  
 PO Box 30498  
 Bellingham, WA 98228

		ESTIMATED CONSTRUCTION COST			
NO.	ITEM	QUANTITY	UNIT	UNIT COST	TOTAL
<b>Construction Costs</b>					
1	MOBILIZATION	1	L.S.	\$15,000.00	\$15,000.00
2	ACCESS & RESTORATION	1	L.S.	\$3,500.00	\$3,500.00
3	ASPHALT REPAIRS	1490	SF	\$20.00	\$29,800.00
4	NETS & POST REPLACEMENTS	1	L.S.	\$3,500.00	\$3,500.00
5	2" ASPHALT OVERLAY	267	TONS	\$200.00	\$53,400.00
6	ACRYLIC SURFACING	21600	SF	\$1.75	\$37,800.00
7	PAVEMENT MARKINGS	1	LS	\$5,000.00	\$5,000.00
8	DOG PARK - 4' FENCE REPLACEMENT	163	LF	\$40.00	\$6,520.00
9	DOG PARK - 3' MAN GATE	1	EA	\$500.00	\$500.00
10	DOG PARK - 8' EQUIPMENT GATE	1	EA	\$750.00	\$750.00
11	MINOR CHANGES	1	EST.	\$10,000.00	\$10,000.00
<i>Subtotal</i>					<i>\$165,770.00</i>
<i>Tax @ 8.6%</i>					<i>\$14,256.22</i>
<b>TOTAL CONSTRUCTION COST</b>					<b>\$180,026.22</b>
<b>10% CONTINGENCY</b>					<b>\$16,577.00</b>
<b>PROJECT TOTAL</b>					<b>\$196,603.22</b>



**2-8-2024**



January 23, 2024

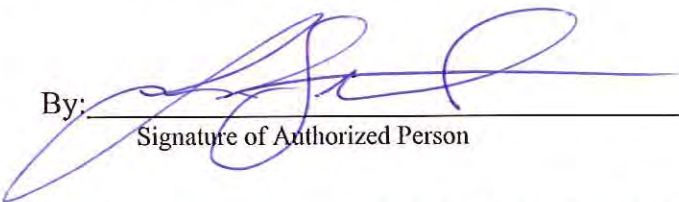
Attn: Bidders

RE: Sudden Valley Community Association (SVCA)  
Bid Form – 2024 Tennis Court Repairs

Bid submissions are due by 11:00am on Friday, 2-9-24. Email bid submissions to [tylera@pnwcivil.com](mailto:tylera@pnwcivil.com).

Firm Name: Stremler Gravel, Inc.

Bid Schedule – 2023 Tennis Court Repairs					
Item #	Description	Quantity	Unit	Unit Price	Total
1.	Mobilization	1	LS	\$36,100.00	\$36,100.00
2.	Access & Restoration	1	LS	\$20,900.00	\$20,900.00
3.	Asphalt Repairs	1,490	SF	\$ 17.25	\$25,702.50
4.	Nets & Post Replacements	1	LS	\$47,000.00	\$47,000.00
5.	2" Asphalt Overlay	1	LS	\$45,800.00	\$45,800.00
6.	Acrylic Surfacing	1	LS	\$50,000.00	\$50,000.00
7.	Pavement Markings	1	LS	\$11,200.00	\$11,200.00
8.	Dog Park – 4' Fence Replacement	163	LF	\$ 74.07	\$12,073.41
9.	Dog Park – 3' Man Gate	1	EA	\$ 590.00	\$ 590.00
10.	Dog Park – 8' Equipment Gate	1	EA	\$ 1500.00	\$ 1500.00
11.	Minor Changes	1	EST.	\$10,000.00	\$10,000.00
	<b>Subtotal</b>				\$260,865.91
	<b>WSST @ 8.6%</b>				\$ 22,434.47
	<b>Total w/ WSST</b>				\$283,300.38

By:   
Signature of Authorized Person

Date: 2/9/24

Print Name & Title: Lane Stremler, President



January 23, 2024

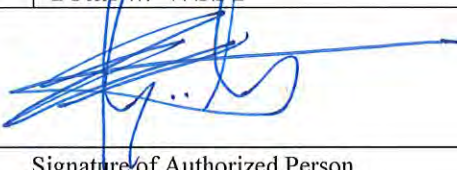
Attn: Bidders

RE: Sudden Valley Community Association (SVCA)  
**Bid Form – 2024 Tennis Court Repairs**

Bid submissions are due by 11:00am on Friday, 2-9-24. Email bid submissions to [tylera@pnwcivil.com](mailto:tylera@pnwcivil.com).

Firm Name: TIGER CONSTRUCTION LTD.

Bid Schedule – 2023 Tennis Court Repairs					
Item #	Description	Quantity	Unit	Unit Price	Total
1.	Mobilization	1	LS	\$ 33,000 <sup>00</sup>	\$ 33,000 <sup>00</sup>
2.	Access & Restoration	1	LS	\$ 12,000 <sup>00</sup>	\$ 12,000 <sup>00</sup>
3.	Asphalt Repairs	1,490	SF	\$ 22 <sup>00</sup>	\$ 32,780 <sup>00</sup>
4.	Nets & Post Replacements	1	LS	\$ 57,000 <sup>00</sup>	\$ 57,000 <sup>00</sup>
5.	2" Asphalt Overlay	1	LS	\$ 53,000 <sup>00</sup>	\$ 53,000 <sup>00</sup>
6.	Acrylic Surfacing	1	LS	\$ 51,000 <sup>00</sup>	\$ 51,000 <sup>00</sup>
7.	Pavement Markings	1	LS	\$ 9,000 <sup>00</sup>	\$ 9,000 <sup>00</sup>
8.	Dog Park – 4' Fence Replacement	163	LF	\$ 45 <sup>00</sup>	\$ 7,335 <sup>00</sup>
9.	Dog Park – 3' Man Gate	1	EA	\$ 430 <sup>00</sup>	\$ 430 <sup>00</sup>
10.	Dog Park – 8' Equipment Gate	1	EA	\$ 1100 <sup>00</sup>	\$ 1100 <sup>00</sup>
11.	Minor Changes	1	EST.	\$10,000.00	\$10,000.00
	<b>Subtotal</b>				\$ 266,645 <sup>00</sup>
	<b>WSST @ 8.6%</b>				\$ 22,931.47
	<b>Total w/ WSST</b>				\$ 289,576.47

By:   
Signature of Authorized Person

Date: 2/09/2024

Print Name & Title: SCOTT ISENHART, PRESIDENT

Sudden Valley Community Association  
**Core Area: Tennis Court - Resurfacing & Fencing - Contract Award**  
 PNW Estimate - Bid Package, Permitting, and Construction Management

Task	Description	Hours	Estimated Cost
Design Oversight	Completed under separate proposal.	0	
	<b>Total Estimated Design Oversight Hours</b>	0	\$ -
Permitting	Completed under separate proposal.	0	
	<b>Total Estimated Permitting Cost</b>	0	\$ -
Contractor Bids	Completed under separate proposal.	0	
	Completed under separate proposal.	0	
	<b>Total Estimated Bid Package Hours</b>	0	\$ -
Construction Management	Issue contract, coordinate submittal reviews, and preconstruction meeting.	5	
	Construction oversight - part time assumed (20 day construction contract at 3 hours per day average - some days more and some days less than 3 hours).	60	
	Contract closeout.	4	
	<b>Total Estimated Construction Management Hours</b>	69	\$ 9,315.00
	<b>Total Estimated</b>		\$ 9,315.00



# Sudden Valley Community Association

360-734-6430

4 Clubhouse Circle Bellingham, WA 98229

[www.suddenvalley.com](http://www.suddenvalley.com)

## CAPITAL REQUEST MEMO

**To:** Sudden Valley Community Association Board of Directors

**From:** Jo Anne Jensen, General Manager

**Date:** February 9, 2023

**Subject:** Capital Request – Core Area: Tennis Court Resurfacing & Fencing

---

### Purpose

To request funding approval for design and permitting to begin.

### Background

The existing tennis courts located adjacent to the Main Pool at the Recreation Center, Barn 8, appear to be original construction, and need significant improvements to be usable. The existing asphalt has wide cracks, the net posts are failing, and the surface as a whole needs repair. In addition, the surrounding fence needs repair. SVCA's 2023 budget includes amounts to repair these items in the combined amount of \$189,925.00.

### Analysis

SVCA proposes to begin work on the design and permitting for improvements to the tennis courts. This will include:

- Design, engineering, and permitting for the project to be constructed. Permitting will require a Shoreline Substantial Development Permit, and the overall permitting process is anticipated to take approximately 5 months.
- The failing asphalt sections will be removed, and new asphalt will be installed.
- The entire asphalt surface will then be resurfaced.
- New surface markings will be applied to accommodate both tennis and pickleball.
- The existing nets will be replaced.
- The existing fence will be repaired/replaced.
- Construction is proposed for summer 2023 during the Lake Whatcom Watershed construction window. Depending on permitting, this will likely be during August or September.

### Proposal

Authorize design and permitting to begin per PNW Services, Inc. attached Proposal dated 2-5-23.

### Request

Request \$19,101.50 per PNW Services, Inc. proposal to begin design and permitting.





# Sudden Valley Community Association

360-734-6430  
4 Clubhouse Circle Bellingham, WA 98229  
[www.suddenvalley.com](http://www.suddenvalley.com)

## Motion

Move that the Board of Directors approve the allocation of \$19,101.50 from the CRRRF Fund for the tennis court refencing and resurfacing project in the Rec Corridor.

## Board of Directors Approval

Approved:  Not Approved:  SVCA Board of Directors

*This capital request was approved by the  
BOD on 3/9/23.*

*Janne Jensen*



February 5, 2023

Sudden Valley Community Association  
Attn: Jo Anne Jensen  
4 Clubhouse Circle  
Bellingham, WA 98229

RE: Project Scope Letter  
**Core Area: Tennis Court – Resurfacing & Fencing**

PNW is providing this overall project scope letter to SVCA for Core Area: Tennis Court – Resurfacing & Fencing project. This area is located adjacent to the Recreation Center, Barn 8, just past the main pool. The existing tennis court appears to be original construction, and is in poor condition. Overall scope of work assumes:

- Project:
  - o Removal of failed asphalt sections with cracks, and placement of new asphalt.
  - o Overlay existing/repared asphalt with new court surface.
  - o The new court surface layout will accommodate both tennis and pickleball.
  - o Repair/replacement of existing fence.
  - o New court nets.
  
- Design, Permitting, & Contractor Bids
  - o Coordinate with permit agencies.
  - o Engineering & Permitting.
  - o Cost evaluations for improvements.
  - o Prepare bid package, issue to contractors, and bid evaluation with recommendation to SVCA.
  - o A Shoreline Substantial Development Permit will be required for this project. With this requirement permitting is anticipated to take approximately 5 months. Construction is anticipated to occur in August/September of 2023.

<b>Design, Permitting, Contractor Bids</b>	
- Impact Design – Design & Permitting	\$11,800.00
- Permit Fees Allowance	\$3,000.00
- PNW Services, Inc. – Oversight & Bid Package	\$2,565.00
Contingency at 10%	\$1,736.50
<b>Total – Design, Permitting, Contractor Bids</b>	<b>\$19,101.50</b>

Please let me know if you have any questions, or if you would like any further information.

Sincerely,

Tyler Andrews  
President



Sudden Valley Community Association  
Tennis Court Resurfacing Permitting

---

January 19, 2023

Tyler Andrews  
PNW Services, Inc.  
PO Box 30498  
Bellingham, WA 98228  
360-739-2072

Thank you for the opportunity to submit a proposal to provide engineering and permitting assistance for a tennis court resurfacing project for the Sudden Valley Community Association. We propose to conduct the engineering and permitting assistance for this project on a Not To Exceed basis in accordance with the rate sheets attached and our budget of \$11,800.

**Scope of Work:**

**Tennis Court Resurfacing Engineering Plans and Specifications (\$6,000)**

We will prepare 100% construction documents for this improvement project. This will include the following sheets in the engineering plan set stamped by a professional engineer in Washington State:

- Cover Sheet and General Notes
- Existing Conditions Map
- Proposed Tennis/Pickleball Court Striping Layout
- Proposed Tennis/Pickleball Court Resurfacing Plan
  - This will include sections of asphalt that will need to be patched and replaced, and an overlay plan with an asphalt thickness schedule as needed. A site visit will be performed to determine the areas of asphalt that need to be replaced by inspection.
- Temporary Erosion and Sedimentation Control Plan
- Stormwater Pollution Prevention Plan
- Asphalt and Acrylic Resurfacing Details and Specifications (as needed)

It is assumed that a stormwater treatment system design or tree retention plan will not be required by Whatcom County for this project. We can provide this additional service on a Time and Materials basis as requested by SVCA.

## Shoreline Substantial Development Permit (\$3,500)

We will prepare the Shoreline Substantial Development permit on the behalf of Sudden Valley Community Association to provide for the proposed improvement project. We will prepare all the application requirements to accompany the Shoreline Substantial Development Permit submittal, including:

- Project Narrative,
- Preliminary Traffic & Concurrency Information form,
- Preliminary Stormwater Proposal,
- Mailing list of property owners in the area.

## Land Surveying Scope (\$2,300)

A survey crew will collect data to create a survey base map for the on-site information. Features they will survey include:

- Control X,Y,Z (State plane and NAVD88)
- Boundary Base Map
- The survey team will have utilities located and integrate as-built information from Lake Whatcom Water and Sewer District. All data will be collected in NAD 83, NAVD 88 datums.

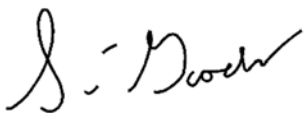
**Excluded Scope:** Geotechnical work, architectural design, structural engineering, landscape design, title reports, construction support, as-builts, and dry utilities coordination are not included in this scope.

Please sign and date below as a formal acceptance of this proposal. We are excited to be working on your project.

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date

Respectfully,



Scott Goodall, MS, PE  
Principal - Impact Design, LLC



2023 Rate Sheet

<b>Office</b>	<b>Hourly Rate</b>
Principal Engineer	\$140
Design Engineer	\$125
Engineering Technician	\$110
Design Technician	\$100
CAD Technician	\$75

<b>Field</b>	<b>Hourly Rate</b>
Construction Inspection	\$90
Drone Pilot (UAV Certified)	\$90
Photogrammetry Technician	\$75

<b>Sub-Consultants</b>	<b>15% Markup</b>
<b>Equipment</b>	<b>15% Markup</b>
<b>Travel Expenses</b>	<b>15% Markup</b>
<b>Mileage</b>	<b>\$0.50 / Mile</b>

Sudden Valley Community Association  
**Core Area: Tennis Court - Resurfacing & Fencing**  
 PNW Estimate - Bid Package, Permitting, and Construction Management

Task	Description	Hours	Estimated Cost
Design Oversight	Oversight of Impact Design, review drawings, and site visits as required.	8	
	<b>Total Estimated Design Oversight Hours</b>	8	<b>\$ 1,080.00</b>
	Oversight of permit applications, facilitate signatures / submittals / permit fees.	5	
Permitting	<b>Total Estimated Permitting Cost</b>	5	<b>\$ 675.00</b>
Contractor Bids	Prepare bid package, issue to contractors, and answer any bid questions.	4	
	Review construction bids, and provide recommendation to SVCA.	2	
	<b>Total Estimated Bid Package Hours</b>	6	<b>\$ 810.00</b>
Construction Management	Under separate proposal after design / permitting.		
	<b>Total Estimated Construction Management Hours</b>	0	<b>\$ -</b>
	<b>Total Estimated</b>		<b>\$ 2,565.00</b>

July 20, 2023 - Bid Tabulation

Project: 2023 Tennis Court Repairs

Item #	Description	Quantity	Unit	Strempler Gravel		Tiger Construction	
				Unit Price	Total	Unit Price	Total
1	Mobilization	1	LS	\$ 35,000.00	\$ 35,000.00	\$ 25,000.00	\$ 25,000.00
2	Access & Restoration	1	LS	\$ 18,200.00	\$ 18,200.00	\$ 11,000.00	\$ 11,000.00
3	Asphalt Repairs	1490	SF	\$ 15.50	\$ 23,095.00	\$ 20.00	\$ 29,800.00
4	Nets & Post Replacements	1	LS	\$ 47,000.00	\$ 47,000.00	\$ 55,000.00	\$ 55,000.00
5	2" Asphalt Overlay	1	LS	\$ 45,500.00	\$ 45,500.00	\$ 53,000.00	\$ 53,000.00
6	Acrylic Surfacing	1	LS	\$ 46,000.00	\$ 46,000.00	\$ 51,000.00	\$ 51,000.00
7	Pavement Markings	1	LS	\$ 11,200.00	\$ 11,200.00	\$ 10,000.00	\$ 10,000.00
8	Dog Park - 4' Fence Replacement	163	LF	\$ 70.00	\$ 11,410.00	\$ 50.00	\$ 8,150.00
9	Dog Park - 3' Man Gate	1	EA	\$ 600.00	\$ 600.00	\$ 450.00	\$ 450.00
10	Dog Park - 8' Equipment Gate	1	EA	\$ 1,500.00	\$ 1,500.00	\$ 1,200.00	\$ 1,200.00
11	Minor Changes	1	EST.	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
	<b>Subtotal</b>				<b>\$244,505.00</b>		<b>\$249,600.00</b>
	<b>WSST @ 8.6%</b>				<b>\$ 21,027.43</b>		<b>\$ 21,465.60</b>
	<b>Total w/ WSST</b>				<b>\$265,532.43</b>		<b>\$271,065.60</b>



January 23, 2024

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)  
**Quote Request – 2024 Tennis Court Resurfacing**

SVCA is requesting quotes for the 2024 Tennis Court Resurfacing project. This project is located next to Barn 8 / Recreation Center and rebuilds the existing tennis courts. Bid proposals are due by 11:00am on Friday, 2-9-24.

Summary of Work:

1. The project will go in front of the SVCA Board on Thursday, 2-22-24, for contract award.
2. All work is assumed to be completed under 1 mobilization.
3. Contractor will be allowed 20 working days to complete the scope of work. Necessary cure time for materials will not be counted as working days.
  - a. Substantial completion is Friday, 8-2-24. Liquidated damages shall be assessed at \$500.00 per day for any days incurred after 8-2-24. Additional days will be added for inclement weather.
  - b. Final completion is Friday, 8-16-24.
  - c. Contractor shall provide a schedule and submittals to SVCA within 3 weeks of contract execution.
4. SVCA work hours are 8:00am – 7:00pm Monday thru Friday, and 8:00am – 6:00pm Saturday.
5. SVCA will allow contractor staging in the overflow parking lot located across from Gate 5 along Lake Louis Road. Contractor staging will also be allowed in the grass next to the tennis courts for a space of 100' x 100'. Contractor shall restore the staging areas upon completion.
6. Fridays are garbage/recycling day in Sudden Valley. Contractor shall not interfere with this pickup.
7. Layout – Asphalt areas for repair will have limits painted by the engineer prior to contractor mobilizing. All other layout is assumed by contractor.
8. All asphalt shall have sealed edges.
9. Traffic control per MUTCD and WSDOT standards.
10. Installation shall follow WSDOT specifications and standards.
11. Force account work to receive 15% markup.
12. Owner will hire a testing agency.
13. Contractor shall provide Performance and Payment Bonds. Bid bonds are not required.
14. This is a private project, and prevailing wages are not applicable.
15. Contractor shall warranty work for 1 year from final completion.

Scope of Work Clarifications:

- Item 2 – Access & Restoration





- Contractor shall access the site from the Barn 8 side. The swimming pool and Recreation Center located at Barn 8 is in use, and contractor shall provide pedestrian protection when accessing as necessary.
- All areas shall be fully restored upon completion.
- Contractor is responsible for grass establishment. Grass establishment is not subject to the working day schedule identified above, but shall be completed in 2024.
- Contractor shall remove and reinstall existing fence as necessary for access. Fencing shall be protected during construction, and any damage shall be restored upon completion.
- Item 7 – Pavement Markings
  - Layout shall include both tennis and pickleball as shown on the drawings.
- Item 8 – Dog Park Fence Replacement
  - Existing dog park fence on the north side of the tennis court shall be removed and replaced with a 4' tall galvanized chain link fence. Measurement of fence does not include gate lengths.
- Item 9 – Dog Park – 3' Man Gate
  - In new fence install a 3' man gate in close proximity to the existing man gate location.
- Item 10 – Dog Park – 8' Equipment Gate
  - Install a gate next to the pedestrian gate with an 8' opening for SVCA's equipment access.

Attachments:

1. Bid Form – 1 Page
2. Project Location Map – 1 Page
3. Drawings – 10 Pages
4. Specifications – 20 Pages
5. Shoreline Exemption Permit – 4 Pages plus Drawings
6. SVCA Standard Contract – 12 Pages

Questions shall be directed to Tyler Andrews at [tylera@pnwcivil.com](mailto:tylera@pnwcivil.com) or 360-739-2072. Contractors are encouraged to independently visit the site; no formal pre-bid is scheduled. Bids are due by 11:00am on Friday, 2-9-24. Email bid submissions to [tylera@pnwcivil.com](mailto:tylera@pnwcivil.com).



January 23, 2024

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)  
**Bid Form – 2024 Tennis Court Repairs**

Bid submissions are due by 11:00am on Friday, 2-9-24. Email bid submissions to [tylera@pnwcivil.com](mailto:tylera@pnwcivil.com).

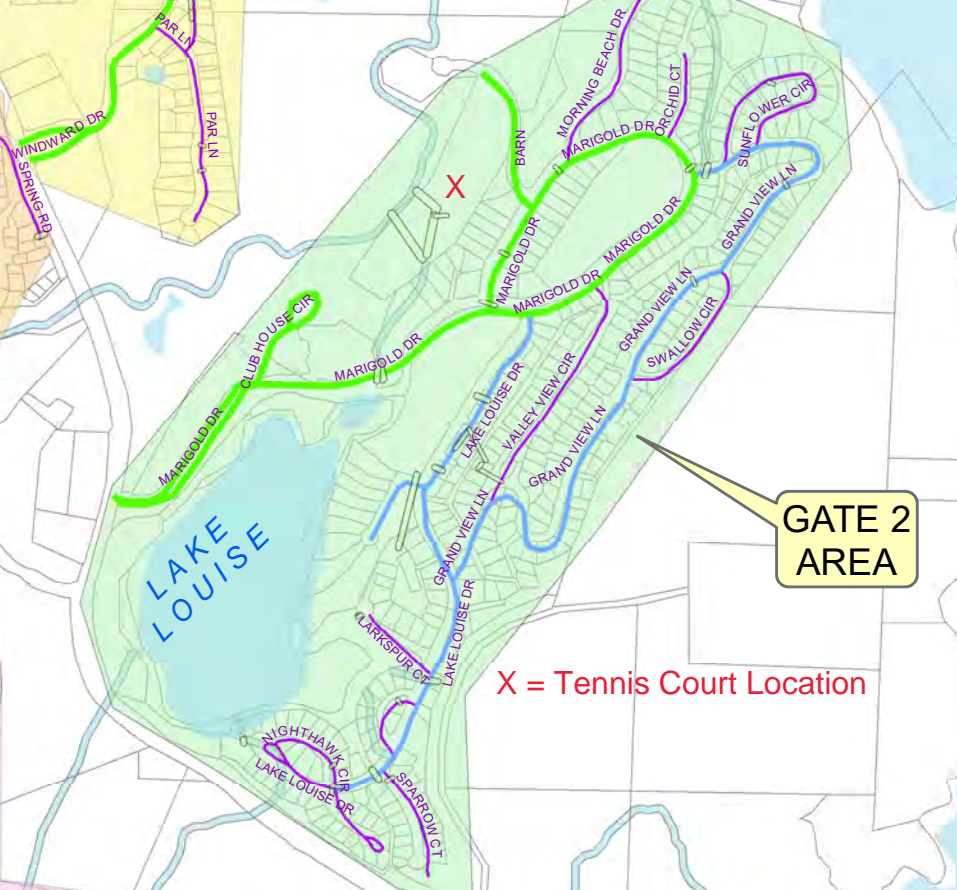
Firm Name: \_\_\_\_\_

<b>Bid Schedule – 2023 Tennis Court Repairs</b>					
Item #	Description	Quantity	Unit	Unit Price	Total
1.	Mobilization	1	LS	\$	\$
2.	Access & Restoration	1	LS	\$	\$
3.	Asphalt Repairs	1,490	SF	\$	\$
4.	Nets & Post Replacements	1	LS	\$	\$
5.	2" Asphalt Overlay	1	LS	\$	\$
6.	Acrylic Surfacing	1	LS	\$	\$
7.	Pavement Markings	1	LS	\$	\$
8.	Dog Park – 4' Fence Replacement	163	LF	\$	\$
9.	Dog Park – 3' Man Gate	1	EA	\$	\$
10.	Dog Park – 8' Equipment Gate	1	EA	\$	\$
11.	Minor Changes	1	EST.	\$10,000.00	\$10,000.00
	<b>Subtotal</b>				\$
	<b>WSST @ 8.6%</b>				\$
	<b>Total w/ WSST</b>				\$

By: \_\_\_\_\_  
Signature of Authorized Person

Date: \_\_\_\_\_

Print Name & Title: \_\_\_\_\_



LAKE LOUISE

X

GATE 2 AREA

X = Tennis Court Location

WINDWARD DR  
SPRING RD  
PAR LN  
PAR LN

MARIGOLD DR  
CLUB HOUSE CIR  
MORNING BEACH DR

MARIGOLD DR

MARIGOLD DR  
LAKE LOUISE DR  
GRAND VIEW LN  
LAKE LOUISE DR

MARIGOLD DR  
VALLEY VIEW CIR  
GRAND VIEW LN

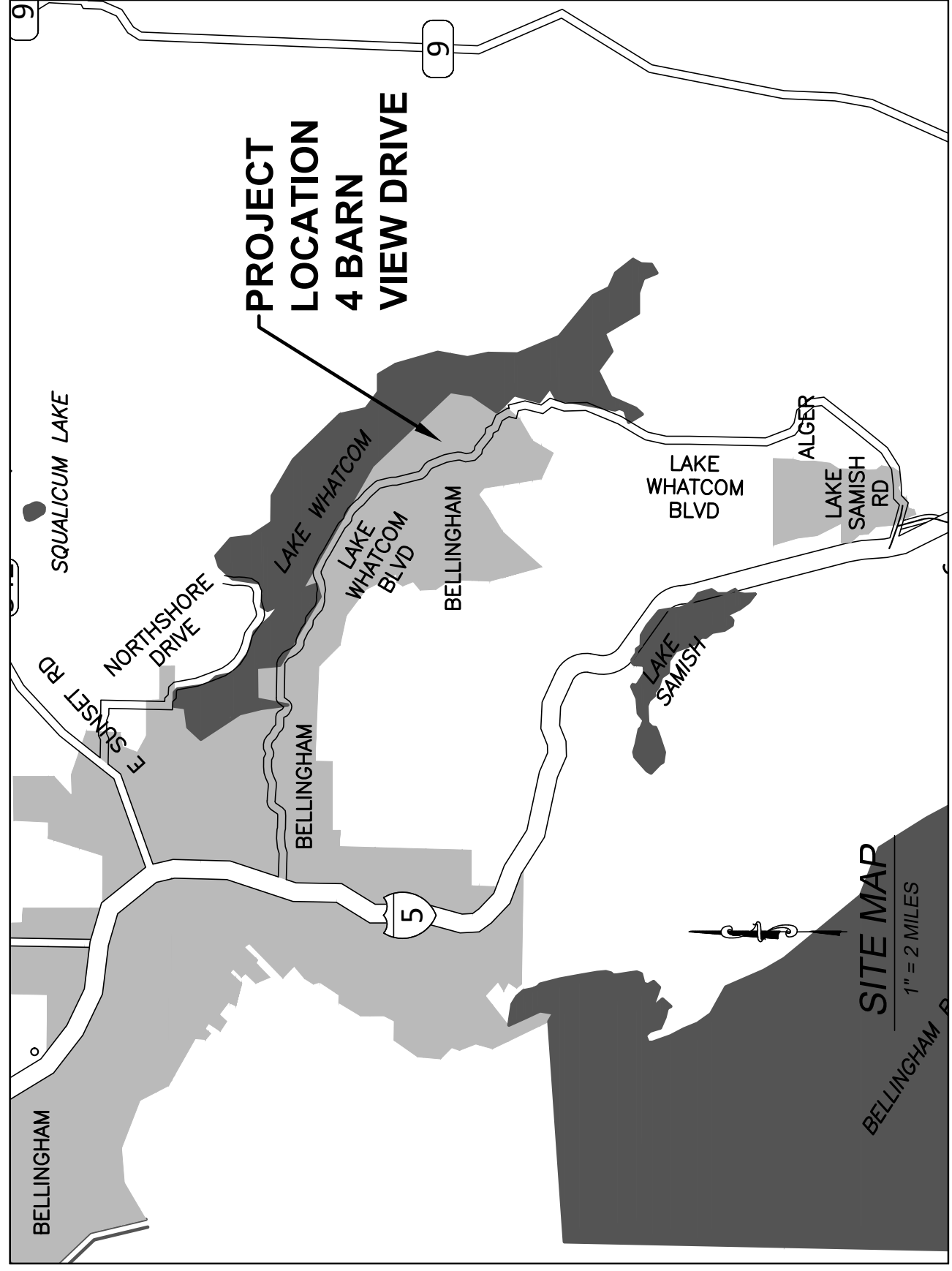
MORNING BEACH DR  
ORCHID CT

SUNFLOWER CIR  
GRAND VIEW LN

GRAND VIEW LN  
SWALLOW CIR

NIGHTHAWK CIR  
LAKE LOUISE DR  
SPARROW CT

VICINITY MAP



SHEET INDEX

SHEET #	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS
3	PROPOSED SITE PLAN
4	PAVEMENT PATCHING PLAN
5	PICKLE BALL & TENNIS STRIPING PLAN
6	STORMWATER POLLUTION PREVENTION PLAN
7	TEMPORARY EROSION & SEDIMENT CONTROL DETAILS
8	DETAILS
9	PROFILE-A1-A1'

ABBREVIATIONS

1/1"	No./#	DESCRIPTION
ASB/AB	POL	AUDITORS FILE NUMBER
ASB/AB	PCL	APPROXIMATE
BUILD	PERF	AS-BUILT
BMP	PVB	BEST MANAGEMENT PRACTICE
BNDRY	PP	BOUNDARY
BVCS	PT/POT	BEGINNING OF VERTICAL CURVE STATION
C	PVC	END OF VERTICAL CURVE STATION
CC	PVI	COMPACT PARKING STALL
CB	PT	CATCH BASIN
CD	PWR	CONCRETE
CNTRL	R	CORRUGATED METAL PIPE
CO	R/C	CLEANOUT
COB	R/CF	CONCRETE
COB	R/CM	CORRUGATED POLYETHYLENE PIPE
COS	R/W	CRUSHED SURFACING TOP COURSE
CSTC	RPP	CONCRETE
CULV	R/S	CULVERT
DEMO	SAN	DEMOLITION
DI	SD	DUCTILE IRON
DWS	SDH	DRAINAGE
EA	SDM	EACH
EL/ELEV	SERV	ELEVATION
ENC	STND/STD	ENCLOSURE
ENCL	S	EDGE OF PAVEMENT
EPA/EP	SSO	EXISTING STORM DRAINAGE
EVS	SSOH	EXISTING STORM DRAINAGE
EVS	SSM	EXISTING STORM DRAINAGE
EX/EVMT	ST	EXISTING VERTICAL CURVE ELEVATION
FE/FF	TM	FINISH FLOOR CONNECTION
FG	TEL/TELE	FINISH GRADE ELEVATION
FH	TESS	FIRE HYDRANT
FND	TS	FOUND
FOOT	TW	FOUND
GUTT	TV	GUTTER
HP	TP	HIGH POINT
INV	TR	INVERT
IR	TR	IRRIGATION
IRIG	VC	IRRIGATION
LF	VEG	LINEAR FOOT
LS	W	LAND SURVEYOR
LX	W/N	MAXIMUM
MON	WSDOT	MONUMENT
NIC	WSDOT	NOT IN CONTRACT
N		NORTH

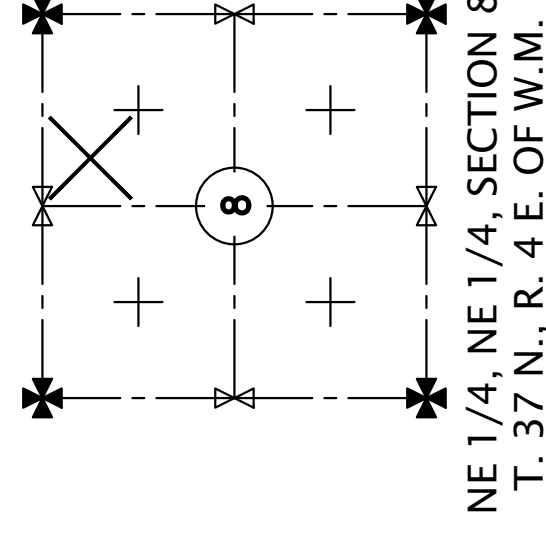


SVCA TENNIS COURTS RESURFACING  
COVER SHEET  
4 BARN VIEW DRIVE  
BELLINGHAM, WASHINGTON 98229

REV	DATE	BY	DESCRIPTION

**PROJECT NUMBER:** 23001  
**DESIGNED/DRAWN BY:** BLS  
**CHECKED BY:** SIG  
**ISSUE DATE:** 05.09.2023  
**1**  
**OF:** 9

SURVEY DATUM



LEGEND

- FOUND MONUMENT (SEE NOTE)
- FOUND NAIL & SHINER
- SET REBAR & CAP (TRAV. CAP)
- SET NAIL & SHINER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER CLEAN-OUT
- EXISTING STORM DRAINAGE MANHOLE
- EXISTING STORM DRAINAGE CATCH BASIN
- EXISTING FIRE HYDRANT
- EXISTING WATERLINE VALVE
- EXISTING UTILITY POLE
- EXISTING SIGNAL POLE / STREET LIGHT
- EXISTING COMMUNICATIONS MANHOLE
- EXISTING UTILITY JUNCTION BOX
- EXISTING SIGN
- EXISTING BOLLARD / PEDESTRIAN BUTTON
- 1/2" TREE DIAMETER
- EXISTING TREE (DECIDUOUS)

SURVEY NOTES

- THIS SURVEY WAS PERFORMED IN FEB 2023 AT THE REQUEST OF IMPACT DESIGN, INC.
- FIELD SURVEY PERFORMED WITH TRIMBLE R8-3 GNSS RECEIVER AND LEICA TOPP 120H+ ROBOTIC TOTAL STATION. HORIZONTAL ACCURACY IS 1.5 CM. VERTICAL ACCURACY WITHIN WAC 332-130-090.
- BASES OF RECORD (ASSUMED) THE INVERSE BETWEEN POWERTEK SURVEY CONTROL POINTS 30 & 40 TAKEN AS S80°51'43"E.
  - P-TEK #30 E=1280539.9390 EL=331.85'
  - P-TEK #40 E=12807257070 EL=333.47'
- VERTICAL DATUM: CITY OF BELLINGHAM DATUM "1909" MUNICIPAL CODE (COBM 1909), DERIVED BY HOLDING LAKE LEVEL AT 11:00AM ON DECEMBER 14, 2022 (P-TEK #030) AS 311.80' PER CITY OF BELLINGHAM (PUBLIC WORKS OPERATIONS).
- TO CONVERT TO NAVD88, SUBTRACT 1.7'.
- THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS.
- POWERTEK SURVEYING ASSUMES NO LIABILITY FOR ANY SUBSURFACE CONDITIONS OR FEATURES THAT MAY EXIST THAT ARE UNDETECTABLE AND/OR NOT VISIBLE.
- CONTOUR INTERVALS ARE SHOWN AT 1 FOOT AND ARE NOT TO BE USED AS A BASIS FOR DESIGN. FIELD TOPOGRAPHY DATA REFERRED FOR THIS SURVEY UTILIZING ELECTRONIC DATA COLLECTION.

WHATCOM COUNTY GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT WSDOT/APWA STANDARD SPECIFICATIONS, WHATCOM COUNTY DEVELOPMENT STANDARDS (WDCS), AND SHALL BE SUBJECT TO APPROVAL BY WHATCOM COUNTY PUBLIC WORKS DEPARTMENT – ENGINEERING DIVISION – PUBLIC WORKS ENGINEERING SERVICES (PWES).
- DEVELOPER/CONTRACTOR/CONSULTING ENGINEER SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH THE PUBLIC WORKS ENGINEERING SERVICES PROJECT MANAGER A MINIMUM OF 3 WORKING DAYS PRIOR TO BEGINNING ANY WORK.
- NORMAL WORKING HOURS ARE 8:00 AM. TO 6:00 PM., MONDAY THROUGH FRIDAY. WORK DURING HOLIDAYS, WEEKENDS, AND OUTSIDE THE NORMAL WORK HOURS REQUIRES PRIOR ARRANGEMENTS AND APPROVAL.
- SIGHT DISTANCE REQUIRED AT ALL INTERSECTIONS PER WDCS CHAPTER 5.
- A REVOCABLE ENCROACHMENT PERMIT SHALL BE OBTAINED PRIOR TO COMMENCING ANY WORK WITHIN COUNTY MAINTAINED ROAD RIGHTS-OF-WAY.
- THE CONTRACTOR SHALL CONTACT UTILITY LOCATION SERVICE 48 HOURS PRIOR TO STARTING WORK AT (800)424-5555 OR 811.
- A COPY OF THE COUNTY-APPROVED DRAWINGS MUST BE ON THE JOB SITE WHENEVER WORK IS IN PROCESS.
- WHATCOM COUNTY RESERVES THE RIGHT TO INSPECT ALL WORK. THE CONTRACTOR SHALL CALL THE CONSULTING ENGINEER AND THE PUBLIC WORKS ENGINEERING SERVICES PROJECT MANAGER AT (360)778-6220 AT LEAST 24 HOURS IN ADVANCE OF THE FOLLOWING WORK ITEMS:
  - A. PLACEMENT OF TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES.
  - B. PLACEMENT OF WATER, SANITARY SEWER, AND STORM DRAINAGE LINES AND BACKFILLING OF THESE LINES WITHIN COUNTY MAINTAINED ROAD RIGHTS-OF-WAY.
  - C. PLACEMENT OF UNDERGROUND UTILITIES AND BACKFILLING WITHIN COUNTY MAINTAINED ROAD RIGHTS-OF-WAY.
  - D. ROADWAY GRADING AT THE COMPLETION OF THE SUBGRADE, BALLAST, AND OF CRUSHED SURFACING.
  - E. POURING OF CURB/GUTTER AND SIDEWALK.
  - F. ASPHALT PAVING AT THE BEGINNING OF PAVING.
  - G. FORMAL INSPECTION MEASUREMENTS OF SHOULDER, DITCHES, PERMANENT SEEDING, ROAD SIGNAGE, MONUMENT PLACEMENT, AND CLEANING OF DRAINAGE SYSTEM AND CONSTRUCTION DEBRIS.
  - H. CLEANING OF DRAINAGE SYSTEM AND CONSTRUCTION DEBRIS.
- ALL WORK REQUIRED TO RELEASE OF ANY POSTED SECURITY.
- ALL TESTING REQUIRED FOR THE WORK SHALL BE THE RESPONSIBILITY OF THE OWNER AND SHALL BE IN CONFORMANCE WITH WDCS WITH RESPECT TO THE CONSULTING ENGINEER.
- THE CONTRACTOR SHALL RIP RAP ALL CULVERT INLETS AND OUTLETS.
- THE CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISTURBED BY THE WORK IMMEDIATELY AFTER CONSTRUCTION. THE CONTRACTOR SHALL NOT LEAVE ANY PART OF THE ROAD USED BY OTHERS UN-PASSABLE WITHOUT NOTIFICATIONS AND AGREEMENT OF OTHER USERS.
- ALL OUT AND FILL SLOPES SHALL BE MULCHED AND SEEDED FOR EROSION CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SLOPE EROSION UNTIL VEGETATION IS FIRMLY ESTABLISHED.
- CONTRACTOR SHALL SWEEP AND REMOVE ALL DEBRIS TRACKED ONTO EXISTING ROADS DURING ALL PHASES OF CONSTRUCTION.
- ANY TREE, WHERE 1/3 OF THE ROOT SYSTEM IS DAMAGED BY WORK, SHALL BE REMOVED.
- THE CONTRACTOR SHALL INFORM THE CONSULTING ENGINEER AND OBTAIN APPROVAL FROM WHATCOM COUNTY ENGINEERING DIVISION OF ANY PROPOSED CHANGES IN PLANS PRIOR TO IMPLEMENTATION OF THE CHANGE. THE CONTRACTOR SHALL KEEP RECORDS OF DEVIATIONS AND FORWARD TO THE ENGINEER OF RECORD AND WHATCOM COUNTY ENGINEERING DIVISION.
- TRAFFIC CONTROL IS TO BE MAINTAINED IN ACCORDANCE WITH WSDOT/APWA STANDARD SPECIFICATIONS.
- THE DEVELOPER/CONTRACTOR SHALL POST A WARRANTY SECURITY AS REQUIRED BY THE WHATCOM COUNTY DEVELOPMENT STANDARDS.
- AN ENGINEER SHALL PROVIDE RECORD DRAWINGS PER WDCS 507.D.

**Shoreline Approval**

PDS Stormwater \_\_\_\_\_  
 Wetland/HCA \_\_\_\_\_  
 Geo-hazard \_\_\_\_\_  
 Zoning \_\_\_\_\_  
 Fire \_\_\_\_\_  
 Shoreline \_\_\_\_\_

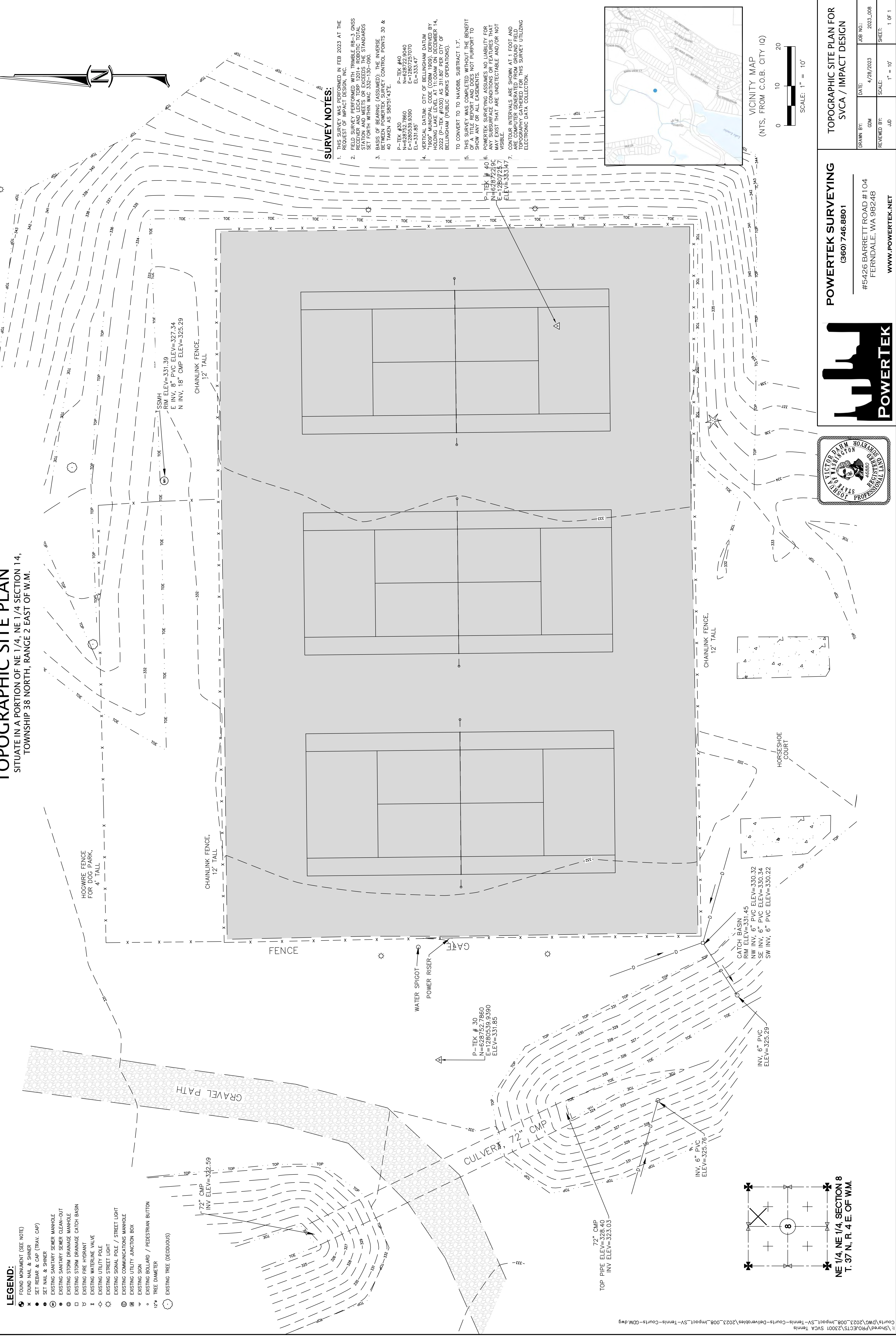
ATH     6/1/2023

SHX2023-00054

# TOPOGRAPHIC SITE PLAN

SITUATE IN A PORTION OF NE 1/4, NE 1/4 SECTION 14,  
TOWNSHIP 38 NORTH, RANGE 2 EAST OF W.M.

- LEGEND:**
- FOUND MONUMENT (SEE NOTE)
  - ✕ FOUND NAIL & SHINER
  - SET REBAR & CAP (TRAV. CAP)
  - SET NAIL & SHINER
  - ⊙ EXISTING SANITARY SEWER MANHOLE
  - ⊙ EXISTING SANITARY SEWER CLEAN-OUT
  - ⊙ EXISTING STORM DRAINAGE MANHOLE
  - ⊙ EXISTING STORM DRAINAGE CATCH BASIN
  - ⊙ EXISTING FIRE HYDRANT
  - ⊙ EXISTING WATERLINE VALVE
  - ⊙ EXISTING UTILITY POLE
  - ⊙ EXISTING STREET LIGHT
  - ⊙ EXISTING SIGNAL POLE / STREET LIGHT
  - ⊙ EXISTING COMMUNICATIONS MANHOLE
  - ⊙ EXISTING UTILITY JUNCTION BOX
  - ⊙ EXISTING SIGN
  - ⊙ EXISTING BOLLARD / PEDESTRIAN BUTTON
  - ⊙ EXISTING TREE (DECIDUOUS)
  - 12" ∅ TREE DIAMETER
  - EXISTING TREE (DECIDUOUS)



**SURVEY NOTES:**

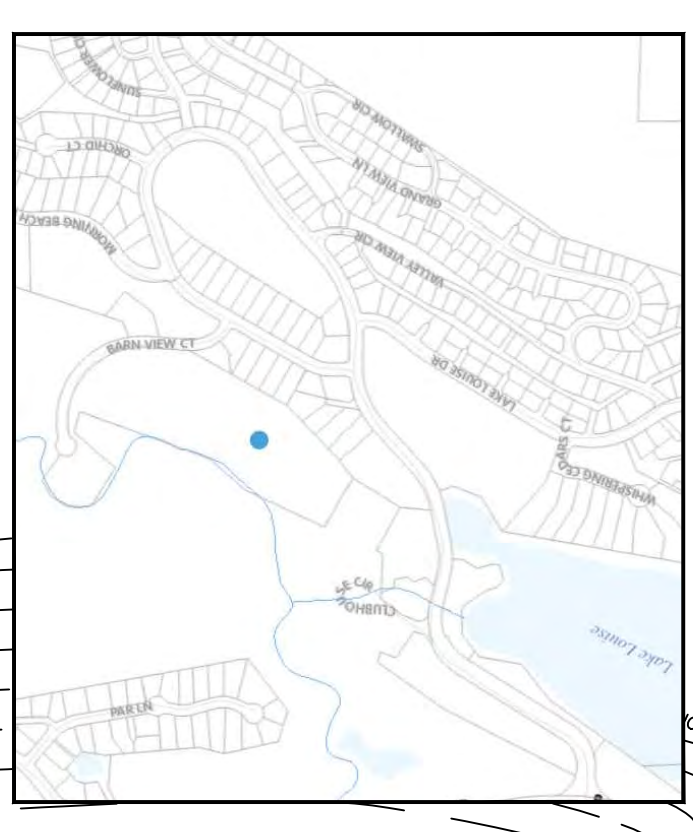
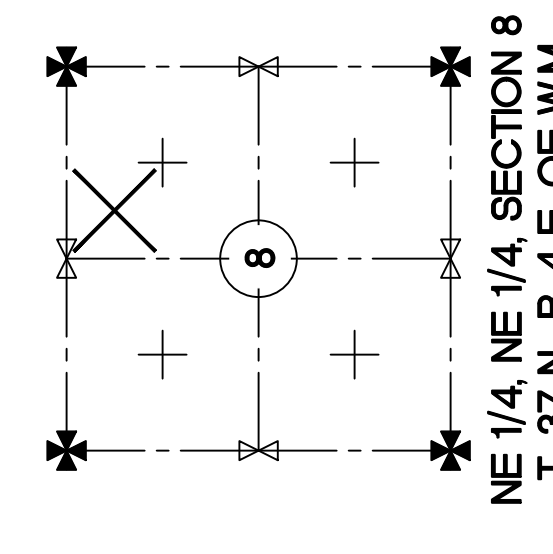
1. THIS SURVEY WAS PERFORMED IN FEB 2023 AT THE REQUEST OF THE CLIENT. THE SURVEY WAS CONDUCTED USING A TRIMBLE RS-3 GNSS RECEIVER AND LEICA TOPP 1201+ ROBOTIC TOTAL STATION AND MEETS OR EXCEEDS THE STANDARDS SET FORTH WITHIN WAC 332-1300-090.
2. BASIS OF BEARING (ASSUMED): THE INVERSE BETWEEN POWERTEK SURVEY CONTROL POINTS 30 & 40 TAEN AS 5895149.4E.
3. P-TEK #30  
N=628752.7860  
E=1280539.9390  
ELEV=531.85  
P-TEK #40  
N=628752.7860  
E=1280725.7070  
ELEV=533.47
4. VERTICAL DATUM: CITY OF BELLINGHAM DATUM "1909" MUNICIPAL CODE (COBM 1909) DERIVED BY HOLDING LAKE LEVEL AT 11:00AM ON DECEMBER 14, 2011. THIS DATUM IS THE STANDARD DATUM OF BELLINGHAM (PUBLIC WORKS OPERATIONS).
5. THIS SURVEY WAS COMPLETED, SUBTRACT 1.7' TO CONVERT TO NAVD88, SUBTRACT 1.7'.
6. POWERTEK SURVEYING ASSUMES NO LIABILITY FOR ANY SUBSURFACE CONDITIONS OR FEATURES THAT MAY EXIST THAT ARE UNDETECTABLE AND/OR NOT VISIBLE.
7. CONTOUR INTERVALS ARE SHOWN AT 1 FOOT AND ARE BASED ON THE DATA GATHERED FOR THIS SURVEY UTILIZING ELECTRONIC DATA COLLECTION.

TOP PIPE ELEV=328.40  
INV ELEV=323.03

P-TEK # 30  
N=628752.7860  
E=1280539.9390  
ELEV=531.85

CATCH BASIN  
RIM ELEV=331.45  
NW INV, 6" PVC ELEV=330.32  
SE INV, 6" PVC ELEV=330.34  
SW INV, 6" PVC ELEV=330.22

SSWH  
RIM ELEV=331.39  
E INV, 8" PVC ELEV=327.34  
N INV, 18" CMP ELEV=325.29



VICINITY MAP  
(NTS, FROM C.O.B. CITY IQ)

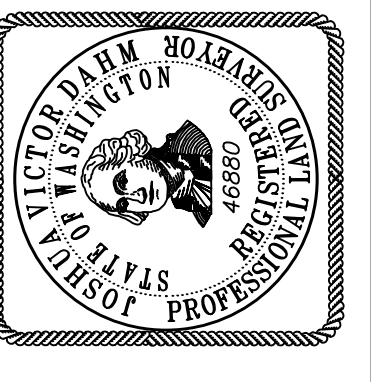
0 10 20  
SCALE: 1" = 10'

DRAWN BY: JJD		DATE: 4/28/2023		JOB NO.: 2023_008	
REVIEWED BY: JJD		SCALE: 1" = 10'		SHEET: 1 OF 1	

**POWERTEK SURVEYING**  
(360) 746.8801

#5426 BARRETT ROAD # 104  
FERNDALE, WA 98248

WWW.POWERTEK.NET



# SUDDEN VALLEY ROADWAY MAINTENANCE 2022 PROPOSED SITE PLAN



5426 BARETT ROAD, SUITE A103  
360-389-8158 WWW.BOLD-IMPACT.COM

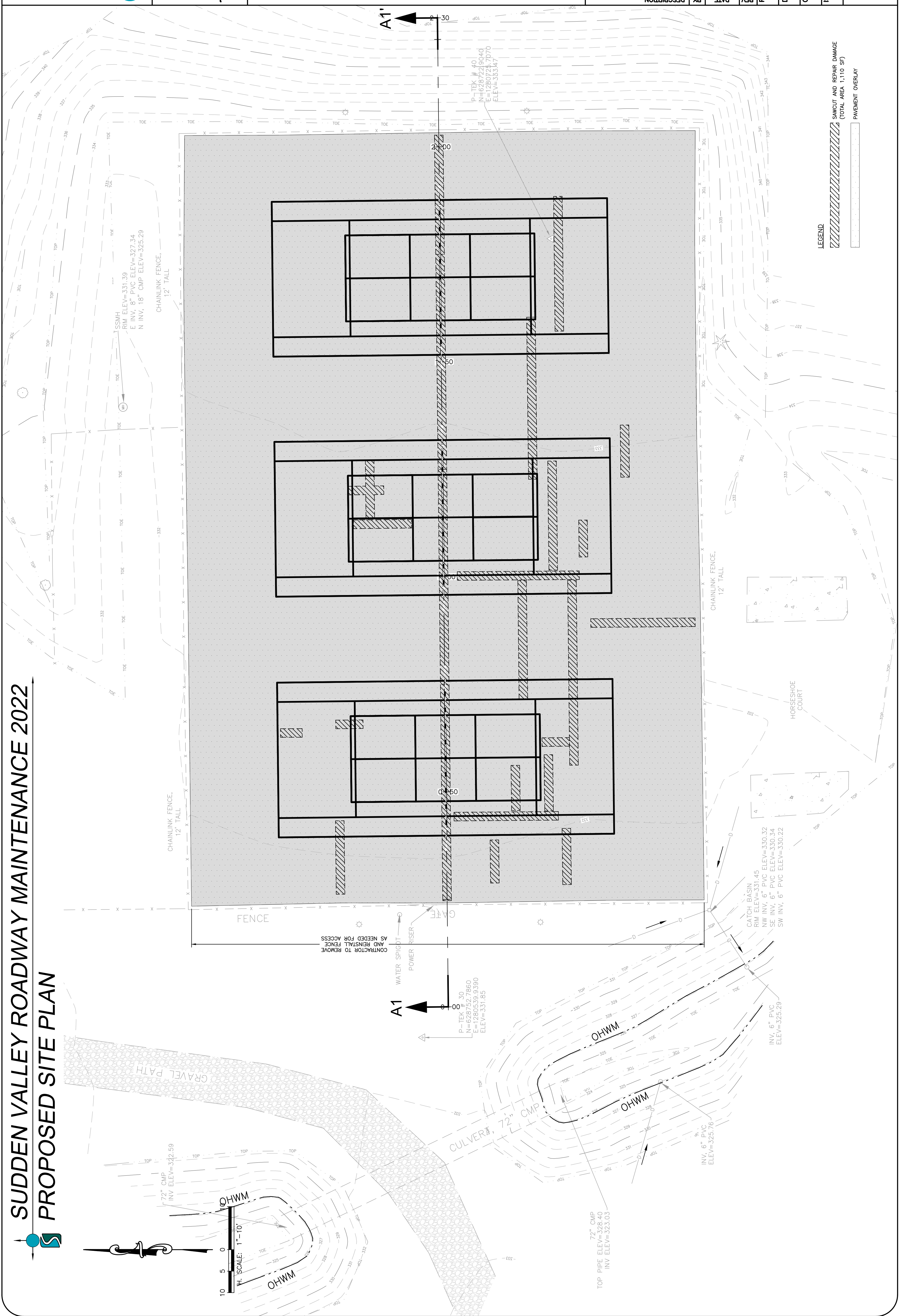


06.09.2023

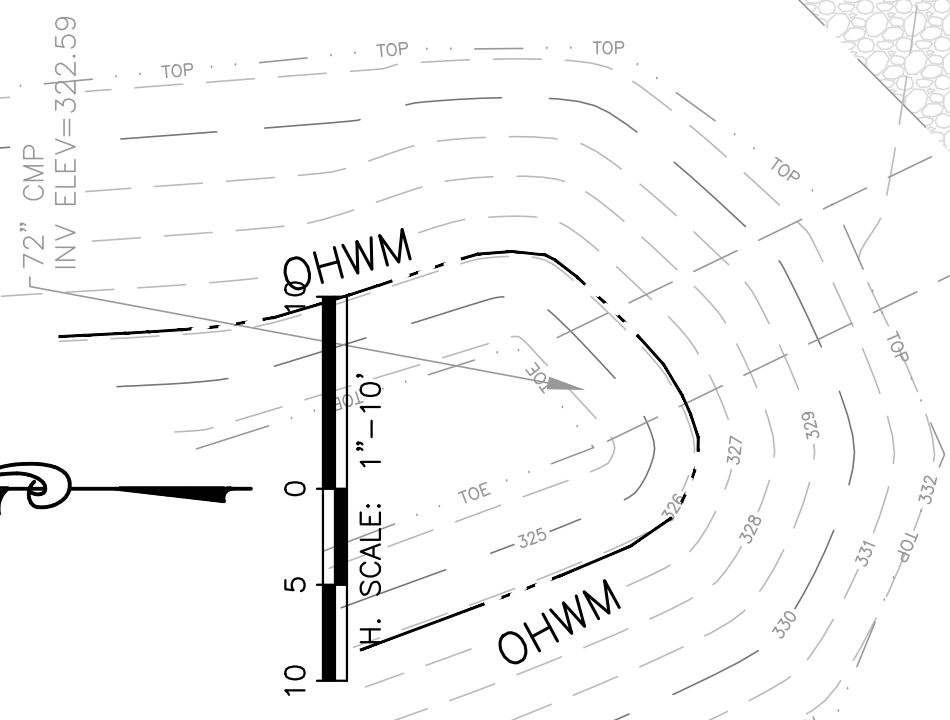
## SVCA TENNIS COURTS RESURFACING PROPOSED SITE PLAN 4 BARN VIEW DRIVE BELLINGHAM, WASHINGTON 98229

REV	DATE	BY	DESCRIPTION

PROJECT NUMBER: 23001  
DESIGNED/DRAWN BY: BLS  
CHECKED BY: SIG  
ISSUE DATE: 05.09.2023  
OF: 3 9



LEGEND  
 SAWCUT AND REPAIR DAMAGE (TOTAL AREA 1,110 SF)  
 PAVEMENT OVERLAY



A1  
 P-TEK # 30  
 N=628752.7860  
 E=1280539.9390  
 ELEV=331.85

A1  
 P-TEK # 40  
 N=628722.9040  
 E=1280725.7070  
 ELEV=333.47

SSMH  
 RIM ELEV=331.39  
 E INV. 8" PVC ELEV=327.34  
 N INV. 18" CMP ELEV=325.29

CATCH BASIN  
 RIM ELEV=331.45  
 NW INV. 6" PVC ELEV=330.32  
 SE INV. 6" PVC ELEV=330.34  
 SW INV. 6" PVC ELEV=330.22

72" CMP  
 TOP PIPE ELEV=328.40  
 INV ELEV=323.03

INV. 6" PVC  
 ELEV=325.29

INV. 6" PVC  
 ELEV=325.76

CONTRACTOR TO REMOVE  
 AND REINSTALL FENCE  
 AS NEEDED FOR ACCESS

CHAINLINK FENCE,  
 12' TALL

CHAINLINK FENCE,  
 12' TALL

HORSESHOE  
 COURT

CHAINLINK FENCE,  
 12' TALL

FENCE

GATE

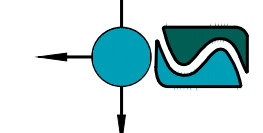
GRAVEL PATH

CULVER, 72" CMP

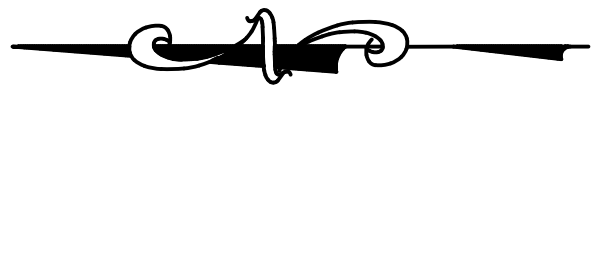
OHWM

OHWM

OHWM



# SUDDEN VALLEY ROADWAY MAINTENANCE 2022 PAVEMENT PATCHING PLAN



H. SCALE: 1"=10'

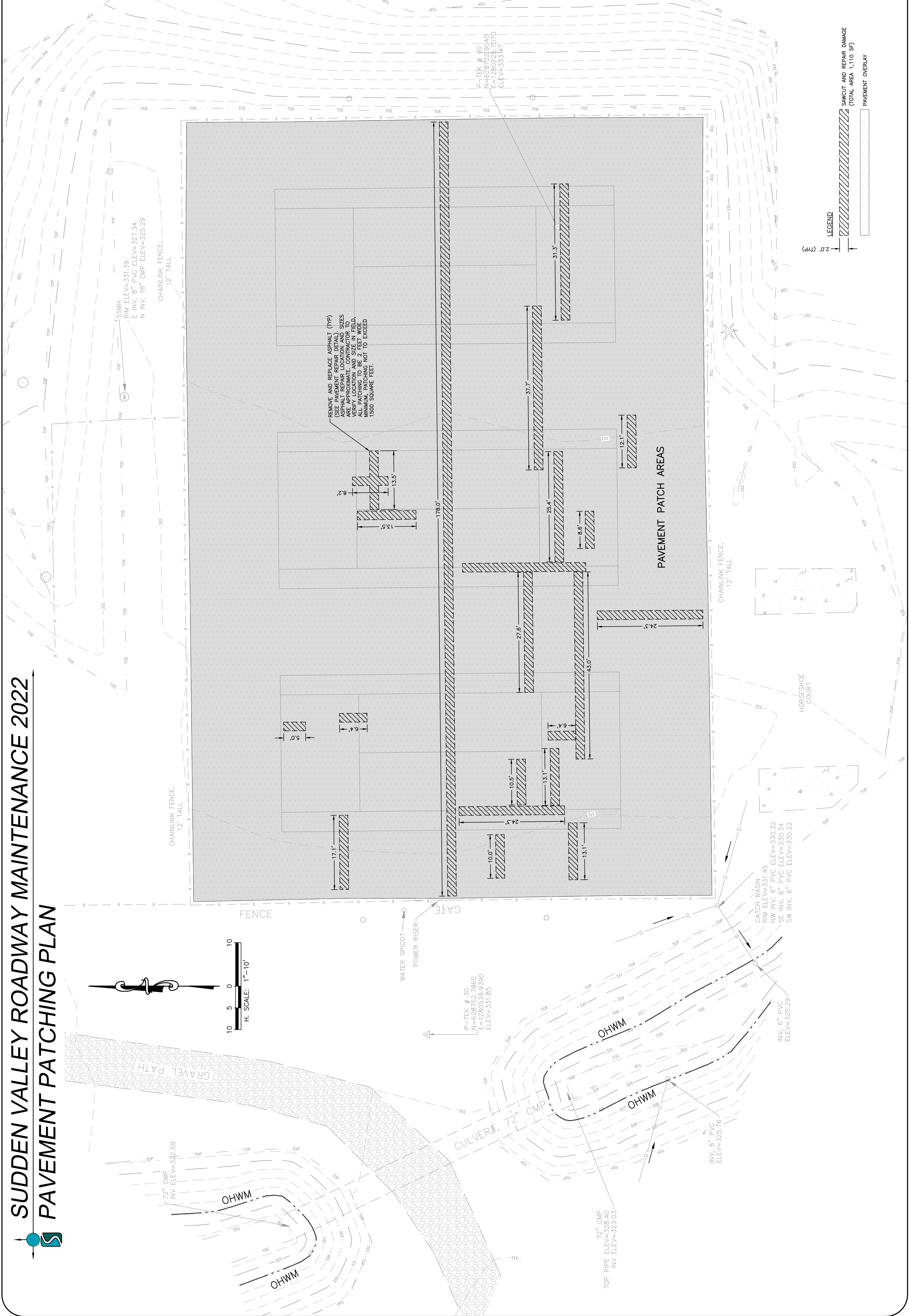


06.09.2023

## SVCA TENNIS COURTS RESURFACING PAVEMENT PATCHING PLAN 4 BARN VIEW DRIVE BELLINGHAM, WASHINGTON 98229

REV	DATE	BY	DESCRIPTION

PROJECT NUMBER: 23001  
DESIGNED/DRAWN BY: BLS  
CHECKED BY: SIG  
ISSUE DATE: 05.09.2023  
OF: 4 9



# SUDDEN VALLEY ROADWAY MAINTENANCE 2022

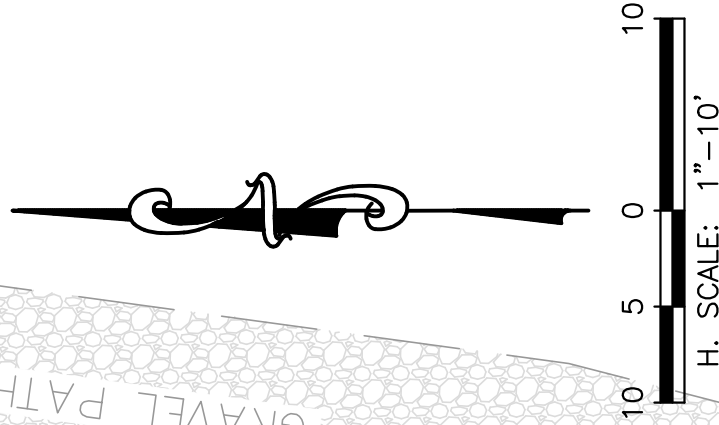
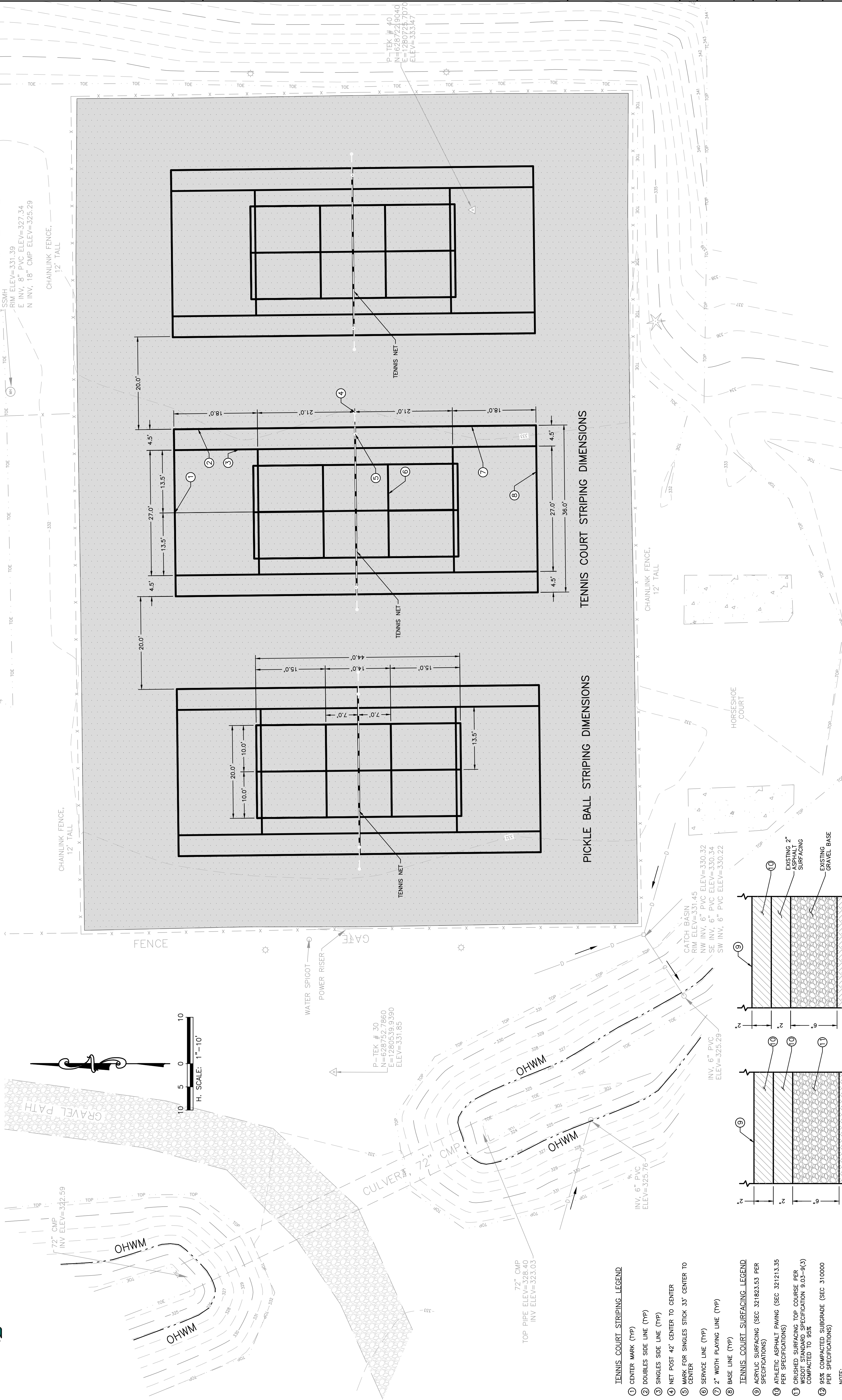
## PICKLE BALL & TENNIS STRIPING PLAN



**SVCAs TENNIS COURTS RESURFACING**  
**PICKLE BALL & TENNIS STRIPING PLAN**  
 4 BARN VIEW DRIVE  
 BELLINGHAM, WASHINGTON 98229

REV	DATE	BY	DESCRIPTION

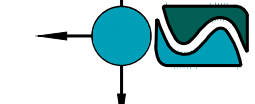
**PROJECT NUMBER:** 23001  
**DESIGNED/DRAWN BY:** BLS  
**CHECKED BY:** SIG  
**ISSUE DATE:** 05.09.2023  
**OF:** 5  
**9**



- TENNIS COURT STRIPING LEGEND**
- ① CENTER MARK (TYP)
  - ② DOUBLES SIDE LINE (TYP)
  - ③ SINGLES SIDE LINE (TYP)
  - ④ NET POST 42' CENTER TO CENTER
  - ⑤ MARK FOR SINGLES STICK 33' CENTER TO CENTER
  - ⑥ SERVICE LINE (TYP)
  - ⑦ 2' WIDTH PLAYING LINE (TYP)
  - ⑧ BASE LINE (TYP)
- TENNIS COURT SURFACING LEGEND**
- ⑨ ACRYLIC SURFACING (SEC 321823.53 PER SPECIFICATIONS)
  - ⑩ ATHLETIC ASPHALT PAVING (SEC 32121.35 PER SPECIFICATIONS)
  - ⑪ CRUSHED SURFACING TOP COURSE PER SPECIFICATIONS 9.05-9(3) COMPACTED TO 95%
  - ⑫ 85% COMPACTED SUBGRADE (SEC 310000 PER SPECIFICATIONS)
- NOTE:**  
 A. ALL STRIPING IS 2" WHITE PAINTED ON SURFACING WITH APPROVED SPECIFIED PAINT
- ASPHALT REPAIR AND TENNIS COURT SURFACING**
- ⑬
  - ⑭
  - ⑮
  - ⑯
- ASPHALT OVERLAY AND TENNIS COURT SURFACING**
- ⑰
  - ⑱
  - ⑲
  - ⑳
- PAVEMENT OVERLAY



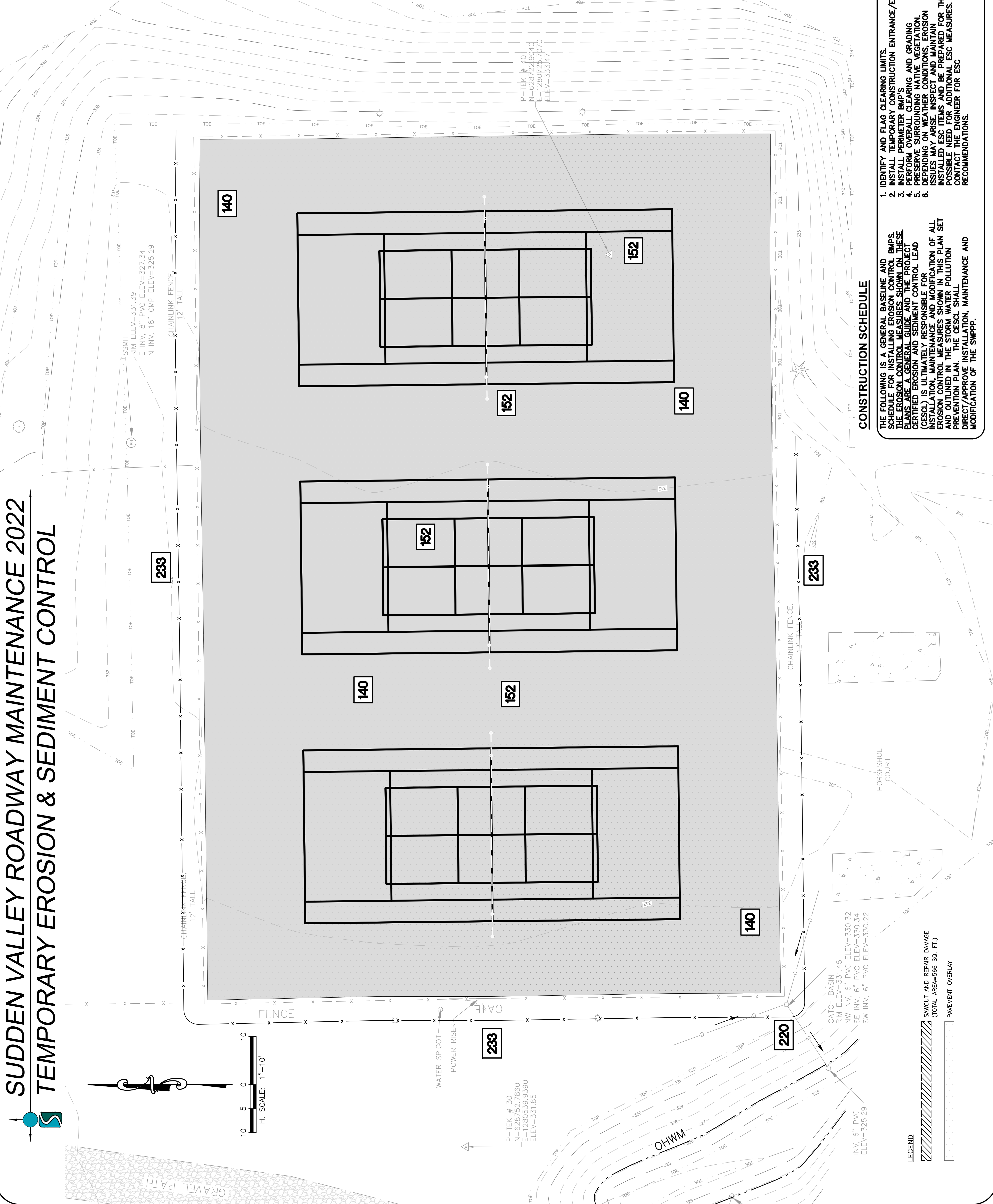




# SUDDEN VALLEY ROADWAY MAINTENANCE 2022 TEMPORARY EROSION & SEDIMENT CONTROL



10 5 0 10  
H. SCALE: 1" = 10'



LEGEND

- SAW CUTTING AND SURFACE POLLUTION PREVENTION
- PAVEMENT OVERLAY
- WATER SPOOT
- POWER RISER
- CAFF
- OHWM
- CATCH BASIN
- RIM ELEV=331.45
- NW INV. 6" PVC ELEV=330.32
- SE INV. 6" PVC ELEV=330.34
- SW INV. 6" PVC ELEV=330.22
- INV. 6" PVC ELEV=325.29
- CHAINLINK FENCE
- 12' TALL
- HORSESHOE COURT
- GRAVEL PATH

## LEGEND

### ELEMENT #1 - MARK CLEARING LIMITS

- 101 BMP C101 PRESERVE VEGETATION
- 103 BMP C103 HIGH VISIBILITY FENCE

### ELEMENT #2 - ESTABLISH CONSTRUCTION ACCESS

- 105 BMP C105 STABILIZED CONSTRUCTION ENTRANCE (ONLY INSTALLED IF NECESSARY)

### ELEMENT #3 - CONTROL FLOW RATES

- 220 BMP C220 STORM DRAIN INLET PROTECTION

### ELEMENT #4 - INSTALL SEDIMENT CONTROLS

- 220 BMP C220 STORM DRAIN INLET PROTECTION
- 233 BMP 233 SILT FENCE

### ELEMENT #5 - STABILIZE SOILS

- 140 BMP C140 DUST CONTROL

### ELEMENT #6 - PROTECT SLOPES

### ELEMENT #7 - PROTECT DRAIN INLETS

- 220 BMP C220 STORM DRAIN INLET PROTECTION

### ELEMENT #8 - STABILIZE CHANNELS AND OUTLETS

### ELEMENT #9 - CONTROL POLLUTANTS

- 152 BMP C152 SAWCUTTING AND SURFACE POLLUTION PREVENTION

### ELEMENT #10 - CONTROL DEWATERING

- 153 BMP C153 MATERIAL DELIVERY, STORAGE AND CONTAINMENT

### ELEMENT #11 - MAINTAIN BMPs

- 160 BMP C160 CERTIFIED EROSION AND SEDIMENT CONTROL LEAD

### ELEMENT #12 - MANAGE THE PROJECT

- 160 BMP C160 CERTIFIED EROSION AND SEDIMENT CONTROL LEAD

NO LID BMPs IN THIS PROJECT

## CONSTRUCTION SCHEDULE

1. IDENTIFY AND FLAG CLEARING LIMITS.
2. INSTALL TEMPORARY CONSTRUCTION ENTRANCE/EXIT.
3. INSTALL PERIMETER BMPs.
4. PERFORM OVERALL CLEARING AND GRADING.
5. PRESERVE SURROUNDING NATIVE VEGETATION.
6. DEPENDING ON WEATHER CONDITIONS, EROSION CONTROL MEASURES SHALL BE PREPARED FOR THE POSSIBLE NEED FOR ADDITIONAL ESC MEASURES. CONTACT THE ENGINEER FOR ESC RECOMMENDATIONS.
7. MONITOR WEATHER AND ADD ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED. WHETHER SHOWN ON THIS PLAN OR NOT. ADDITIONAL BMP MATERIALS SHALL BE KEPT ON HAND AT ALL TIMES (SUCH AS GRAVEL, STRAW, PLASTIC OR EQUIVALENT).
8. WHEN GRADING AND CONSTRUCTION ARE COMPLETE, REEVALUATE ALL EXPOSED SOILS AND REMOVE TEMPORARY BMPs ONCE DEEMED NO LONGER NECESSARY.

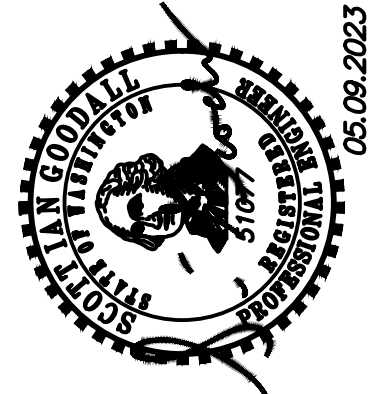
THE FOLLOWING IS A GENERAL BASELINE AND SCHEDULE FOR INSTALLING EROSION CONTROL BMPs. THE LOCAL GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL LEAD (CESCL) ULTIMATELY RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND MODIFICATION OF ALL EROSION CONTROL MEASURES SHOWN IN THIS PLAN SET AND OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN. THE CESCL SHALL DIRECT/APPROVE INSTALLATION, MAINTENANCE AND MODIFICATION OF THE SWPPP.

## SVCA TENNIS COURTS RESURFACING TEMPORARY EROSION & SEDIMENT CONTROL

4 BARN VIEW DRIVE  
BELLINGHAM, WASHINGTON 98229

REV	DATE	BY	DESCRIPTION

PROJECT NUMBER: 23001  
DESIGNED/DRAWN BY: BLS  
CHECKED BY: SIG  
ISSUE DATE: 05.09.2023  
7 OF 9



06.09.2023

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PROJECT NUMBER:	23001
DESIGNED/DRAWN BY:	BLS
CHECKED BY:	SIG
ISSUE DATE:	04.28.2023
OF:	9
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**Table II-3.6: Mulch Standards and Guidelines**

Mulch Material	Guidelines	Description
Straw	Quality Standards	Air-dried, free from undesirable seed and coarse material.
	Application Rates	2"-3" thick; 5 bales per 1,000 sq ft or 2-3 tons per acre
	Remarks	Cost-effective protection when applied with adequate thickness. Hand application generally requires greater thickness than blown straw. The thickness of straw may be reduced by half when used in conjunction with seeding. In wet areas, straw should be applied in a 2' wide strip with a tackifier or covering with netting. Blown straw always has to be held in place with a tackifier as even light winds will blow it away. Straw, however, has several deficiencies that should be considered when selecting mulch materials. It often introduces and/or encourages the propagation of weed species and it has no significant long-term benefits. It should also not be used within the ordinary high-water elevation of surface waters (due to floatation).
Hydromulch	Quality Standards	No growth-inhibiting factors.
Application Rates	Approx. 35-45 lbs per 1,000 sq ft or 1,500 - 2,000 lbs per acre	
Remarks	Shall be applied with hydromulcher. Shall not be used without seed and tackifier unless the application rate is at least doubled. Fibers longer than about 3/4 - 1 inch clog hydromulch equipment. Fibers should be kept to less than 3/4 inch.	
Compost	Quality Standards	No visible water or dust during handling. Must be produced per WAAC 173-350. Solid Waste Handling Standards, but may have up to 35% biosolids.
	Application Rates	2" thick min.; approx. 100 tons per acre (approx. 750 lbs per cubic yard)
Remarks	More effective control can be obtained by increasing the application rate to 2"-3" thick. Compost should be applied until landscaping because it can be directly seeded or filled into soil as an amendment. Compost used for mulch has a coarser size gradation than compost used for BMP C125. Topsoiling, Compositing or BMP T.1.1. Post-Construction Soil Quality and Depth. It is more stable and practical to use in wet areas and during many weather conditions. Do not use near wetlands or near phosphorus-impaired water bodies.	
Chipped Site Vegetation	Quality Standards	Grinations from fines to 6 inches in length for reseed, saturation, and interlocking properties. Include a mix of wood chips so that the average size is between 2" and 4" inches.
	Application Rates	2" thick min.;
	Remarks	This is a cost-effective way to dispose of debris from clearing and grubbing, and it eliminates the problems associated with burning. Generally, it should not be used on slopes above approx. 10% because of its tendency to be transported by runoff. It is not recommended within 200 feet of surface waters. If permanent seeding or planting is expected shortly after mulch, the decomposition of the vegetation may be an important component to grass establishment.  Note: thick application of this material over existing grass, herbaceous species, and some groundcovers could smother and kill vegetation.
Wood-Strand Mulch	Quality Standards	No visible water or dust during handling. Must be purchased from a supplier with a Solid Waste Handling Permit or one exempt from solid waste regulations.
	Application Rates	2" thick min.; approx. 100 tons per acre (approx. 750 lbs per cubic yard)
	Remarks	This material is often called "wood straw" or "hog fish". The use of mulch ultimately improves the organic matter in the soil. Special caution is advised regarding the source and composition of wood-based mulches. Its preparation typically does not provide any weed seed control, so evidence of residual vegetation in its composition or known weeds or noxious species should be monitored and prevented (or minimized).  A blend of loose, long, thin wood pieces derived from native conifer or deciduous trees with high length-to-width ratio.
Wood Strand Mulch	Quality Standards	2" thick min.
	Remarks	Cost-effective protection when applied with adequate thickness. A minimum of 95-percent of the wood strand shall have lengths between 2 and 10-inches, with a width and thickness between 1/16 and 1/2-inches. The mulch shall not contain resin, laminin, or other compounds in quantities that would be detrimental to plant life. Sawdust or wood shavings should be removed from the mulch. (Sawdust is not approved for the Standard Specifications for Road, Bridge, and Municipal Construction (NSDOT, 2016)

Washington State Department of Ecology  
2019 Stormwater Management Manual for Western Washington (2019 SWMMWW)  
Publication No. 19-10-021

**BMP C152: Sawcutting and Surfacing Pollution Prevention**

**Purpose**  
Sawcutting and surfacing operations generate slurry and process water that contains fine particles and high pH (concrete cutting), both of which can violate the water quality standards in the receiving water. Concrete spillage or concrete discharge to waters of the State is prohibited. Use this BMP to minimize and eliminate process water and slurry created through sawcutting or surfacing from entering waters of the State.

**Conditions of Use**  
Utilize these management practices anytime sawcutting or surfacing operations take place. Saw-cutting and surfacing operations include, but are not limited to:

- Sawing
- Coring
- Grinding
- Roughening
- Hydro-demolition
- Bridge and road surfacing

**Design and Installation Specifications**

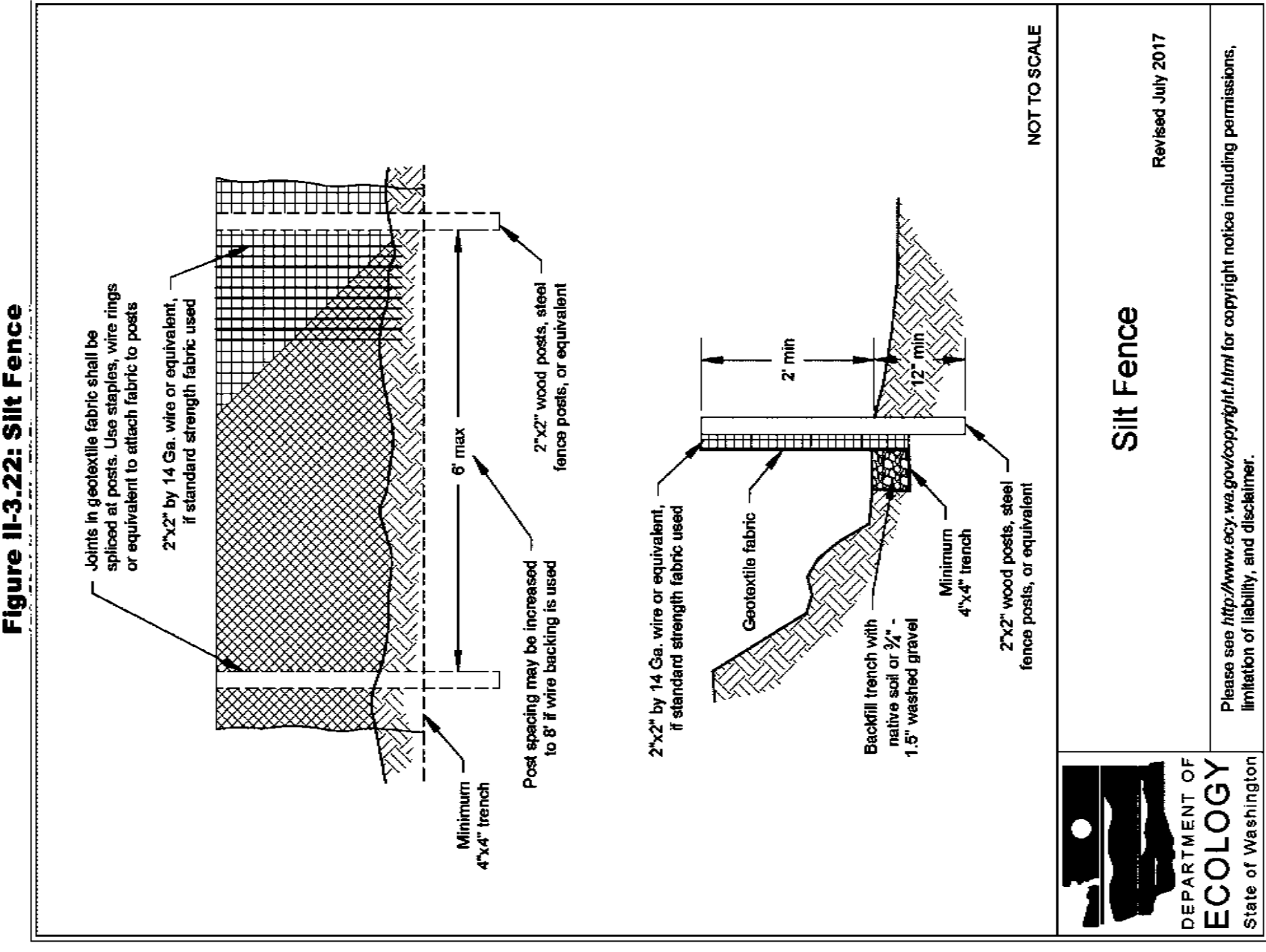
- Vacuum slurry and cuttings during cutting and surfacing operations.
- Slurry and cuttings shall not drain to any natural or constructed drainage conveyance including stormwater systems. This may require temporarily blocking catch basins.
- Dispose of collected slurry and cuttings in a manner that does not violate ground water or surface water quality standards.
- Do not allow process water generated during hydro-demolition, surface roughening or similar operations to drain to any natural or constructed drainage conveyance including stormwater systems. Dispose of process water in a manner that does not violate ground water or surface water quality standards.
- Handle and dispose of cleaning waste material and demolition debris in a manner that does not cause contamination of water. Dispose of sweeping material from a pick-up sweeper at an appropriate disposal site.

**Maintenance Standards**

Continually monitor operations to determine whether slurry, cuttings, or process water could enter waters of the state. If inspections show that a violation of water quality standards could occur, stop operations and immediately implement preventive measures such as berms, barriers, secondary containment, and/or vacuum trucks.

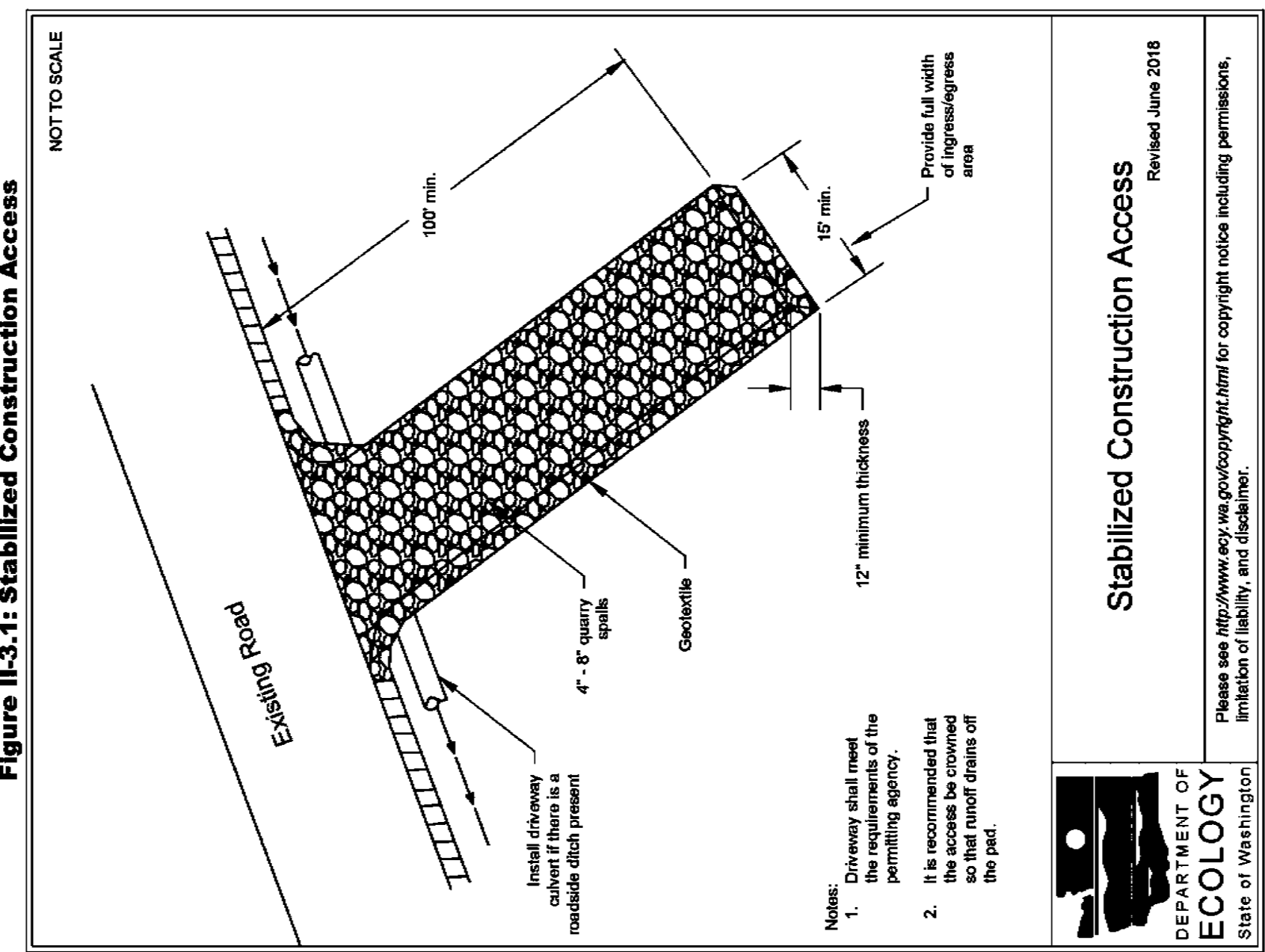
**SAWCUTTING (BMP C152)**

NTS



**Silt Fence**

Revised July 2017  
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**Stabilized Construction Access**

Revised June 2018  
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**SILT FENCE**

NTS

- NOTES:**
1. APPLY ALL EROSION CONTROL SEED MIX (TEMPORARY SEED MIX) ON 3:1 SLOPES OR LESS FOR AREAS TO VEGETATED WITH NATIVE SHRUB AND TREE SPECIES. INSTALL IN LIEU OF APPLYING HOG-FUEL MULCH.
  2. INSTALL LOW-GROWING TURF SEED MIX IN JAMES STREET PLANTING STRIP AND OTHER ON-SITE AREAS WHERE LAWN IS SPECIFIED.

recommended mixes for both temporary and permanent seeding.

- Apply these mixes, with the exception of the seed mix rate, at a rate of 120 pounds per acre. This rate can be reduced if soil conditions or slow-release fertilizers are used. Apply the wet area seed mix at a rate of 60 pounds per acre.
- Consult the local suppliers or the local conservation district for their recommendations. The appropriate mix depends on a variety of factors, including location, exposure, soil type, slope, and expected foot traffic. Alternative seed mixes approved by the local authority may be used, depending on the soil type and hydrology of the area.

**Table II-3.4: Temporary and Permanent Seed Mixes**

Common Name	Latin Name	% Weight	% Purity	% Omission
<b>Temporary Erosion Control Seed Mix</b>				
A standard mix for areas requiring a temporary vegetative cover.				
Chickpea or annual blue grass	Festuca rubra var. commutata or Poa annua	40	98	90
Perennial ryegrass	Lolium perenne	50	98	90
Redtop or colonial bentsgrass	Agrostis alba or Agrostis tenuis	5	92	85
White clover	Trifolium repens	5	98	90
<b>Landscaping Seed Mix</b>				
A recommended mix for landscaping seed.				
Perennial ryegrass	Lolium perenne	70	98	90
Chewings and red fescue blend	Festuca rubra var. commutata or Festuca rubra	30	98	90
<b>Low-Growing Turf Seed Mix</b>				
A turf seed mix for dry situations where there is no need for watering. This mix requires very little maintenance.				
Dwarf tall fescue (several varieties)	Festuca arundinacea var.	45	98	90
Dwarf perennial ryegrass (Bentley)	Lolium perenne var. bentleyi	30	98	90
Red fescue	Festuca rubra	20	98	90
Colonial bentsgrass	Agrostis tenuis	5	98	90
<b>Bio-stable Seed Mix</b>				
A seed mix for bio-stables and other intermittently wet areas.				
Tall or meadow fescue	Festuca arundinacea	70-80	98	90

NTS

SUDDEN VALLEY ROADWAY MAINTENANCE 2022  
 PROFILE-A1-A1'



5426 BARETT ROAD, SUITE A103  
 360-389-8138 WWW.BOLD-IMPACT.COM



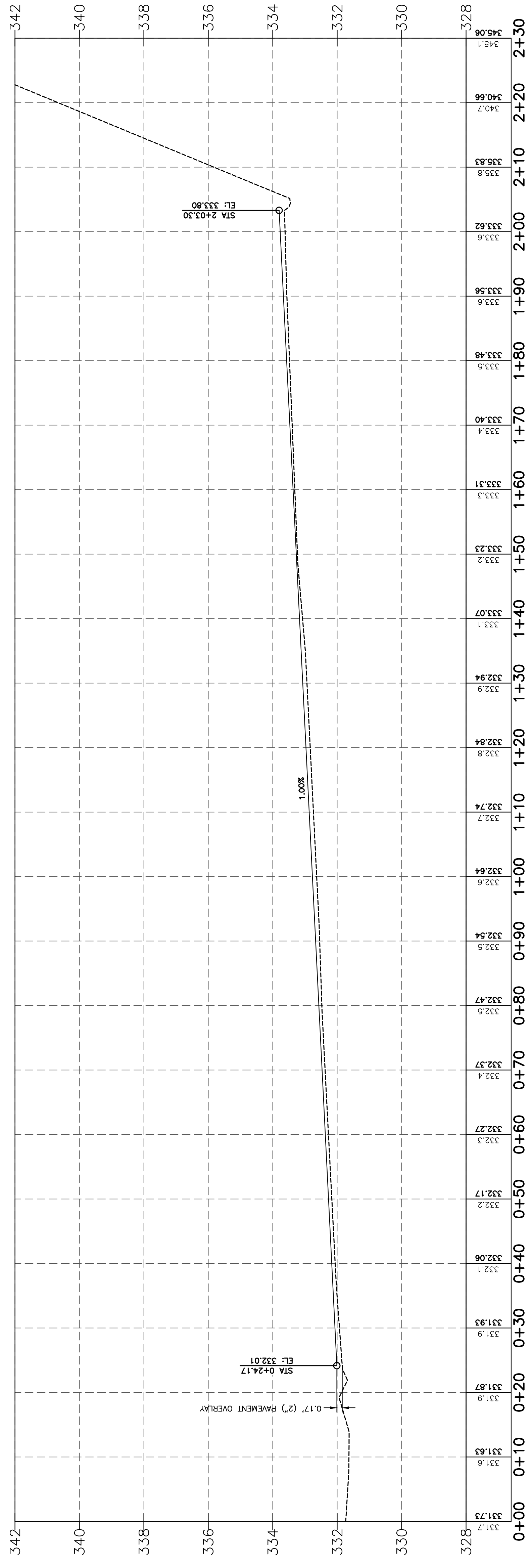
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SVCA TENNIS COURTS RESURFACING  
 PROFILE-A1-A1'  
 4 BARN VIEW DRIVE  
 BELLINGHAM, WASHINGTON 98229

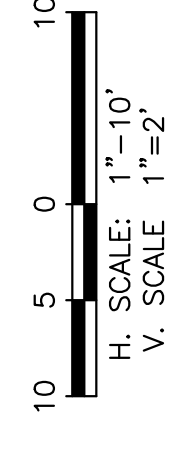
REV	DATE	BY	DESCRIPTION

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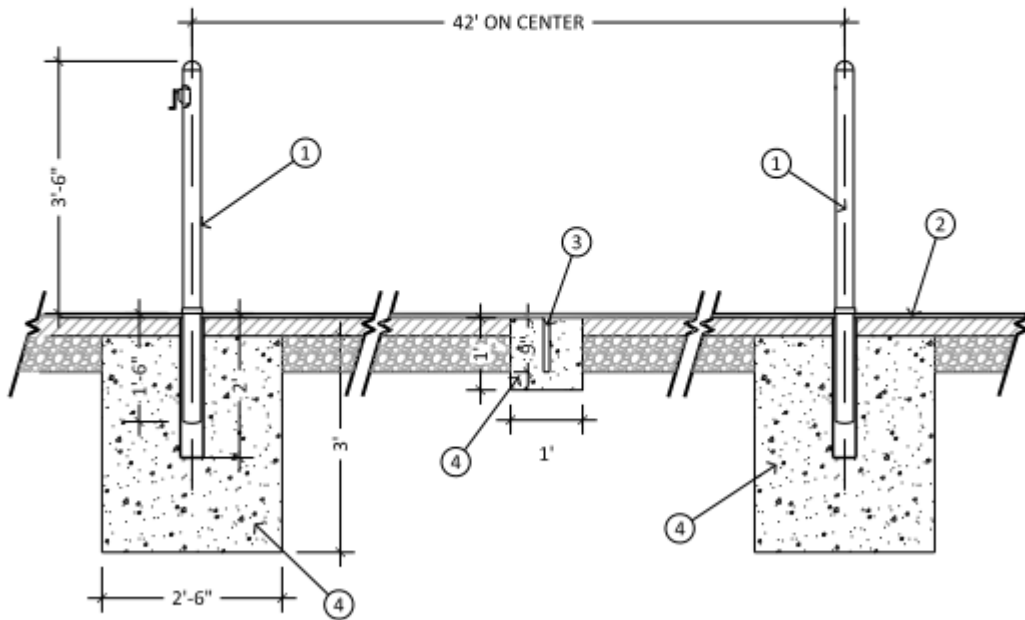


A1-A1' PROFILE





1. NET POSTS (SEC 129300)
2. TENNIS COURT SURFACE (SEC 321823)
3. CENTER ANCHOR
4. CAST-IN-PLACE CONCRETE FOOTING PER MANUFACTURERS RECCOMENDATIONS. FOOTINGS ARE 2'-6" LENGTH x 2'-6" WIDTH x 3' DEPTH. INSTALL CLASS 4000 PCC W/ AIR ENTRAINMENT



**1** TENNIS NET POST FOOTING  
NTS

## SECTION 129300 - SITE SPORTS EQUIPMENT

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. Section Includes:
  - 1. Tennis Court Construction

#### 1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Samples: For each exposed product and for each color and texture specified.
- C. Samples for Initial Selection: For units with factory-applied finishes.
- D. Samples for Verification: For each type of exposed finish, not less than **6-inch- (152-mm-)** long linear components and **4-inch- (102-mm-)** square sheet components.
- E. Product Schedule: Use same designations indicated on Drawings.

#### 1.4 INFORMATIONAL SUBMITTALS

- A. Material Certificates: For site furnishings manufactured with preservative-treated wood.

#### 1.5 CLOSEOUT SUBMITTALS

- A. Maintenance Data: For site furnishings to include in maintenance manuals.

### PART 2 - PRODUCTS

#### 2.1 TENNIS COURT EQUIPMENT

- A. Tennis Nets

1. Manufacturer: Douglas Industries, 800.553.8907.
2. Model: No. TN-36 with side pockets and wooden dowels.
3. Quantity: One set per Court.

B. Net Posts and Sleeves

1. Manufacturer: Douglas Industries, 800.553.8907.
2. Model: DTP-37 Green, 3" O.D., with net lacing, 3/16" Steel Wall, with ground sleeves.
  - a. Include Cable and Ratchet Winch.
3. Quantity: One set per Court.

C. Line Markings for Tennis and Pickleball Courts

1. Line markings shall be Plexipave HI-Hide Plexicolor Line Paint. Apply in strict accordance with manufacturer's specifications and instructions.
2. Unless otherwise noted, tennis lines shall be white.
3. The lines shall be masked on both sides with an acceptable tape. Each measurement shall be accurately set to within 1/8" tolerance in accordance with the American Sports Builders Association (ASBA). Each court area shall be marked for doubles play.
4. All areas that have overlapped in color shall be corrected and non-appearing. All overspray in excess shall be corrected and non-appearing. No spraying shall be done with the wind factor above seven (7) mph.

## 2.2 FABRICATION

- A. Metal Components: Form to required shapes and sizes with true, consistent curves, lines, and angles. Separate metals from dissimilar materials to prevent electrolytic action.
- B. Welded Connections: Weld connections continuously. Weld solid members with full-length, full-penetration welds and hollow members with full-circumference welds. At exposed connections, finish surfaces smooth and blended, so no roughness or unevenness shows after finishing and welded surface matches contours of adjoining surfaces.
- C. Pipes and Tubes: Form simple and compound curves by bending members in jigs to produce uniform curvature for each repetitive configuration required; maintain cylindrical cross section of member throughout entire bend without buckling, twisting, cracking, or otherwise deforming exposed surfaces of handrail and railing components.
- D. Exposed Surfaces: Polished, sanded, or otherwise finished; all surfaces smooth, free of burrs, barbs, splinters, and sharpness; all edges and ends rolled, rounded, or capped.
- E. Factory Assembly: Factory assemble components to greatest extent possible to minimize field assembly. Clearly mark units for assembly in the field.

## 2.3 GENERAL FINISH REQUIREMENTS

- A. Appearance of Finished Work: Noticeable variations in same piece are unacceptable. Variations in appearance of adjoining components are acceptable if they are within the range of approved Samples and are assembled or installed to minimize contrast.

## 2.4 STEEL AND GALVANIZED-STEEL FINISHES

- A. Powder-Coat Finish: Manufacturer's standard polyester, powder-coat finish complying with finish manufacturer's written instructions for surface preparation, including pretreatment, application, baking, and minimum dry film thickness.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine areas and conditions, with Installer present, for compliance with requirements for correct and level finished grade, mounting surfaces, installation tolerances, and other conditions affecting performance of the Work.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 INSTALLATION

- A. Comply with manufacturer's written installation instructions unless more stringent requirements are indicated. Complete field assembly of site furnishings where required.



- B. Install site equipment level, plumb, true, and securely anchored positioned at locations indicated on Drawings.
- C. Post Setting: Set cast-in support posts in concrete footing with smooth top, shaped to shed water. Protect portion of posts above footing from concrete splatter. Verify that posts are set plumb or at correct angle and are aligned and at correct height and spacing. Hold posts in position during placement and finishing operations until concrete is sufficiently cured.
- D. Posts Set into Voids in Concrete: Form or core-drill holes for installing posts in concrete to depth recommended in writing by manufacturer of site furnishings and **3/4 inch (19 mm)** larger than OD of post. Clean holes of loose material, insert posts, and fill annular space between post and concrete with nonshrink, nonmetallic grout or anchoring cement, mixed and placed to comply with anchoring material manufacturer's written instructions, with top smoothed and shaped to shed water.
- E. Pipe Sleeves: Use steel pipe sleeves preset and anchored into concrete for installing posts. After posts have been inserted into sleeves, fill annular space between post and sleeve with nonshrink, nonmetallic grout or anchoring cement, mixed and placed to comply with anchoring material manufacturer's written instructions, with top smoothed and shaped to shed water.
- F. Concrete for posts to be of 4000 psi compressive strength in 28 days of curing. Concrete is to be maintained at a minimum temperature of 40 degrees F during mixing, pouring, and thereafter for 24 hours.
  - 1. Comply with ACI 301.
  - 2. Allow proper curing of concrete before applying any net and goal loads.

### 3.3 PROTECTION AND INSPECTION

- A. Verify proper position and configuration of all items. Make corrections as required.
  - 1. Verify proper height of nets at court center and adequate anchorage of nets at corners.
- B. Clean work areas and dispose of all trash and debris.
- C. Clean all installed items and remove temporary protective coatings.

END OF SECTION

## SECTION 321823 ATHLETIC SURFACING SYSTEM

### ATHLETIC SURFACING SYSTEM

#### 1.1 APPLICATION

Depending upon the product used in the system, application is by 70 or 50 durometer flexible rubber squeegee, as well as by wide hair-type push brooms for finish coat application of non sand-filled materials.

#### 1.2 QUALITY ASSURANCE

- Manufacturer: Minimum 10 years experience producing athletic surfacing coatings.
- Installer: American Sports Builders Association Certified. Licensed installers, experienced and trained in the use of these products.

#### 1.3 DRYING TIME

- 30 minutes to one hour at 70 degrees with 50% relative humidity.
- Indoor applications require fans and good ventilation.
- Surface may be used for play in 24 hours after completion.

#### 1.4 COLOR RANGE

Color(s) to be selected by Architect from full range of manufacturer's available standard colors. Nine Color Standards: Light Green, Dark Green, Florida Green, California Red, Sahara Red, Pacific Blue, Cape Gray, Brown, Maroon. (Special colors are available on request.)

#### 1.5 LIMITATIONS

1. The Plexipave or equal system will not prevent pavement cracks from occurring or reoccurring.
2. Do not apply if surface temperature is less than 50 degrees or more than 140 degrees.
3. Allow asphalt to cure for a minimum of **21 days**.
4. Allow concrete to cure for a minimum of 28 days.
5. No curing agents allowed on concrete surfaces.
6. **DO NOT STORE IN HOT SUN.**
7. Apply only when ambient temperature is 50 degrees and rising.
8. Do not apply when rain is imminent.
9. After diluting with water, use mixed materials promptly.
10. Keep containers tightly closed when not in use.
11. **KEEP FROM FREEZING.**

## 1.6 THE PLEXI PAVE SYSTEM

### SURFACE COATINGS

<u>Product</u>	<u>Description</u>	<u>Specification No.</u>
<b>Plexichrome or equal</b>	<b>Full color (9 colors) Finish Coat (Non-textured).</b>	<b>10.1</b>
Plexipave Gran Prix or equal	Exceptionally flexible Acrylic Surface Color Coating for resilient surfaces.	10.32
Fortified Plexipave or equal	ready-to-use, textured Color Finish.	10.2
<b>Plexipave Color Base or equal</b>	<b>Neutral Acrylic Texture (filler coat) for job mixing with Plexichrome to make full color-in-depth surfacing.</b>	<b>10.5</b>
Plexicushion or equal	Rubberized cushion subsurface, multi-coat system used under Plexipave.	10.3
Plexicushion Base Coat or equal	Large rubber Particle Underlayment for Plexicushion.	10.9
<b>Plexicolor Line Paint or equal</b>	<b>Flat, high-hide 100% Acrylic Line Marking Paint-7 colors-Textured or Non-textured.</b>	<b>10.4</b>

### SURFACE PREPARATION PRODUCTS

<b>Acrylic Resurfacer or equal</b>	<b>Acrylic Binder for job mixing with silica sand and water for filler coat mixes.</b>	<b>10.8</b>
Crack Filler	Highly flexible, high solids filler for minor cracks.	10.10
<b>Court Patch Binder or equal</b>	<b>Concentrated Acrylic binder for mixing with silica sand and cement for patching and major cracks.</b>	<b>10.14</b>
Plexibond Coating or equal	Surface primer as well as an adhesive in the Plexibond Fiberglass repair system.	10.11
Concrete Preparer	Acid pretreatment for uncoated Portland Cement Concrete.	10.13
Ti-Coat or equal	Two-component water-based epoxy primer for new or old uncoated concrete.	10.17
Plixipatch or equal	High Solids, ready-to-use acrylic compound for light patching.	10.21

**\*USE SURFACE COATINGS AND SURFACE PREPARATION PRODUCTS IN BOLD**

## **2.1 STANDARD ASPHALT INSTALLATION**

### New Construction

- Level with Court Patch binder mix or Plexipatch or equal
- 2 coat Acrylic Resurfacer or equal
- 2 coats Fortified Plexipave or equal
- 2 coat finish (depending on speed of play-either Fortified Plexipave or Plexichrome or equal) (see Asphalt Spec. #10.18)

### Re-Coat

Depending on the condition of the surface,

- 1 coat of Acrylic Resurfacer or equal, (needed for courts that require extensive preparation)
- 2 or 3 coats of Fortified Plexipave..

### 2.3 APPLICATION RATES PER COAT (UNDILUTED)

	GALLON/SQUARE YARD	GALLON/SQUARE METER	YARDS/GALLONS	DILUTION RATE
ACRYLIC RESURFACER OR EQUAL	.05-.07	.06-.09	15-20	2 to 1 10-16# Sand/Gal
COLOR BASE OR EQUAL	.05-.07 Base (.03-.04) Chrome (.02-.03)	.06-.09 Base (.03-.04) Chrome (.02-.03)	<u>30 to 20 to 20 Mix</u> 15-20	Combined 3 to 2 to 2
PLEXICHROME OR EQUAL	.05-.04	.05-.06	20.25	1 to 1
PLEXIPAVE OR EQUAL	.05-.07	.06-.09	15-20	2 to 1
FORTIFIED PAVE (FACTORY) OR EQUAL	.05-.07	.06-.09	15-20	4 to 1
JOB MIX FORTIFIED (SEE COLOR BASE) OR EQUAL				
PLEXICUSHION OR EQUAL	.1-.13	.12-.16	8-10	4 to 1
PLEXICUSHION BASE COAT OR EQUAL	.25	.3	4	4 to 1
CLEAR-GLO OR EQUAL	.025	.03	40	1 to 1
PLEXITRAC RESURFACER OR EQUAL	.22-.50	.26-.60	2-4	4 to 1
TI COAT (A&B) OR EQUAL	.025-.03	.029-.036	33-44	None
CONCRETE PREPARER OR EQUAL	.01-.013	.012-.016	78-100	1 to 4
PLEXIBOND COATING PLEXIBOND SYSTEM PRIMER OR EQUAL	.07-.05 .04-.025	.084-.06 0.048-0.03	15-20 25-40	2 to 1 1 to 2

END OF SECTION

## 321823.1 RESURFACER

### RESURFACER

#### 1.1 DESCRIPTION

Acrylic Resurfacer or equal is an asbestos free, acrylic latex binder developed expressly for job mixing with silica sand to obtain a fast drying filler coat that reduces porosity in asphalt and concrete pavements. As opposed to other filler coat products, multiple applications of Acrylic Resurfacer or equal does not require rolling between coats.

**1.2 SURFACE USES:** Acrylic Resurfacer or equal may be applied over properly prepared asphalt and concrete sub-bases that are to be surfaced with the Plexipave or equal or Plexicushion or equal Surfacing System.

#### 1.3 APPLICATION

Use a 70 Durometer flexible rubber squeegee, 24", 30", 36" width.

#### 1.4 DRYING TIME

Thirty minutes to one hour under optimum outdoor temperature and humidity conditions (70 degrees F, 50% humidity). For indoor application, provide heat and air circulation to expedite drying.

#### 1.5 MIXING

A variety of sand gradations can be used depending on the surface conditions to be treated. Quantities of sand and water will vary depending on the sand gradation. When using finer gradation less sand should be used to maintain strength in the mix. For level or patching, Court Patch Binder or equal mixes should be used (see specification Section 10.14.)

#### 1.6 COVERAGE

Filler Coat: 15-20 square yards per gallons depending on surface texture and porosity (.05-.07 gals/sq. yd.)

#### 1.7 LIMITATIONS

1. Apply only when ambient temperature is 50 degrees F and rising
2. Do not apply when rain is imminent
3. Do not apply when surface temperature is less than 50 degrees F or more than 140 degrees F.
4. Do not apply over tar emulsion sealers.
5. Keep containers tightly closed when not in use.
6. Keep materials from freezing.
7. New asphalt shall be allowed to cure for at least 14 days; concrete shall cure for 28 days. Do not use curing compounds.
8. Use only with sands free clay, silt and other foreign materials.
9. The Plexipave system or equal will not prevent pavement cracks from occurring.

## PART 2 – SPECIFICATIONS

### 2.1 SCOPE

- A. This specification pertains to the application of Acrylic Resurfacer or equal over asphalt and concrete tennis courts and other recreational areas as designated in the Site Plans. The material is to be used as a filler coating to reduce surface porosity and obtain a uniform texture prior to applying the Plexipave Color Surface System or equal. Application shall be equally durable over indoor or outdoor asphalt, indoor concrete and outdoor concrete with a proper vapor barrier in place.
- B. The work shall consist of suitably cleaning and preparing the asphalt or concrete to assure a satisfactory bond of the Acrylic Resurfacer or equal Filler Mix, and the subsequent application of the quantity of material specified herein.
- C. Materials shall be delivered to the site in sealed, properly labeled containers and water used in mixing shall be fresh and clear. Coverage rates are based on manufacturer's materials prior to adding sand and mixing with water.

### 2.2 SURFACE PREPARATION

- A. Refer to the Asphalt Paving Specification for asphaltic concrete pavement and tolerances. Also see the drawings for additional details.
- B. The surface to receive the Acrylic Resurfacer or equal Mix shall be of uniform texture, clean, and free of grease, oils and other foreign materials.
- C. **Asphalt**-Allow asphalt to cure a minimum of **21 days**. Prior to the application of surfacing materials, the entire surface shall be flooded and checked for minor depressions or irregularities. Any puddle area covering a nickel shall be marked and repaired with Court Patch Binder or equal using the following mix
  1. 100 lbs of 60-80 mesh silica sand (dry)
  2. 3 gallons Plexipave Court Patch Binder or equal
  3. 1 to 2 gallons Portland Cement (dry) (depending on humidity and temperature)

A tack coat consisting of 1 part Court Patch binder or equal and 2 parts water shall be applied to the patch areas and allowed to dry thoroughly prior to repairing. For more information see California Products Specification 10.14 or 10.21.

After patching, the surface shall not vary much more than 1/8" in ten feet measured in any direction.

### 2.3 APPLICATION OF SURFACE FILLER COAT

- A. Filler Coat – The Contractor shall apply 2 filler coats in opposite directions over the entire slab. The material must be delivered to the job site in unopened containers and mixed at the job site according to the manufacturer's specifications. If an asphaltic emulsion filler is used, the filler coat shall be compacted with 3,000 pound, steel-wheeled, self-propelled roller.
- B. Application of the Acrylic Resurfacer or equal Mix shall be applied to a clean, dry, level surface using the following mix:

Acrylic Resurfacer	55 gallons
Water (clean and potable)	20-40 gallons
Sand (60-80 mesh)	600-900 pounds
Liquid Yield	112-138 gallons

Use clean, dry sand and clear potable water to make mixes. Mix the ingredients throughout in a mortar box or mortar mixer. Apply the Acrylic Resurfacer or equal mix with a 70 Durometer rubber bladed squeegee on the surface with sufficient quantity to cover as the squeegee is pulled over the surface.

- B. Asphalt-Apply the Acrylic Resurfacer or equal Mix one to two coats (depending on surface porosity) at a rate of .05-.07 gallons per square yard per coat.
- D. Allow the application of Acrylic Resurfacer or equal to dry thoroughly. Scrape off all ridges and rough spots prior to any subsequent application Acrylic Resurfacer or equal or Plexipave or equal.

**END OF SECTION**



## 321823.2 ACRYLIC PATCHING SYSTEM

### ACRYLIC PATCHING SYSTEM

#### 1.1 DESCRIPTION

Court Patch Binder or equal is a high strength acrylic latex bonding liquid designed to mix with Silica Sand and Portland Cement as an easy to use patching compound. The patching mix may be used over new or existing asphalt and concrete surfaces to repair depressions, cracks, and other irregularities. Court Patch Binder or equal allows for application of quick drying leveling patches up to  $\frac{3}{4}$ " in depth.

#### 1.2 SURFACE USES:

Over new or existing asphalt and concrete pavement to correct depressions and uneven texture on:

- Tennis Courts
- Outdoor Basketball Courts
- Play Areas
- Pathways and Walks

#### 1.3 APPLICATION

- A. Use steel trowel and/or metal screed to fill and level depressions, bird baths or irregularities in tennis courts and other recreational pavement areas.
- B. Cracks greater than  $\frac{1}{4}$ " shall be filled and leveled with a square hand-trowel or broad knife by forcing the Court Patch Binder or equal filler mix into the crack and striking off excess material. Edges may be feathered using a hand trowel and damp cloth to form a smooth transition from patch to the original surface.

#### 1.4 COLOR

Neutral

#### 1.5 DRYING TIME

Applications of Court Patch Binder or equal mixes dry at various rates depending on the type of mineral aggregate, the thickness applied, and the weather conditions. Thin applications by squeegee or trowel using fine aggregate will cure and dry in less than one hour.

Thick applications (up to  $\frac{3}{4}$ ") for patching deep bird baths and rough pavement will take a minimum of six hours to dry depending on temperature and humidity conditions. Patches should be allowed to cure for 24 hours before applying the Plexipave System or equal.

### PART 2 – Court Patch Mix

#### 2.1 MIXES

- A. Depressions up to  $\frac{3}{4}$ " shall be applied by steel trowel or metal screed to level the surface to proper grade using the following mix designs.

**Thin Patches  $\frac{1}{4}$ " or Less**

100 lbs. #80-100 Mesh Silica Sand (dry)  
3 gallons Court Patch Binder or equal  
1 to 2 gallons Portland Cement (dry)  
(Minimum 12 lbs, Maximum 24 lbs.)

**Thick Patches  $\frac{1}{4}$ " or Greater**

Use 60-80 Mesh Silica Sand (dry)

Depending on temperature and humidity)

Mix in a clean mortar box or mortar mixer to a workable consistency. Thoroughly clean and apply a tack coat of 1 part Court Patch Binder or equal diluted with 2 parts water to the area to be patched. Court Patch Binder or equal mix may be applied directly to the depressed area after the tack coat has completely dried. The patch should be allowed to cure for 24 hours prior to the application of the Plexipave Color Surface System or equal.

Depressions in excess of  $\frac{3}{4}$ " depth must receive multiple applications of Court Patch Binder or equal Mix, allow 24 hours before applying subsequent lifts. Each application of Court Patch mix or equal must be feathered out to a fine edge. Any rough edges must be rubbed down with an abrasive rubbing stone to remove roughness.

## 2.2 **COVERAGE**

Because of the wide variation in surface conditions, porosity and texture, the coverage figures given here are approximate and serve only as a guide:

Patching mix: 1  $\frac{1}{2}$  square yards per 100 lbs. batch laid  $\frac{1}{2}$  thick.

## 2.3 **LIMITATIONS**

1. Allow new asphalt surface **21 days** to cure and new concrete 28 days to cure.
2. Do not use in temperatures below 55 degrees F or when rain or high humidity is imminent.
3. Ambient temperature must be 55 degrees F and rising.
4. Keep containers tightly closed when not in use.
5. Do not apply if surface temperature is in excess of 140 degrees F.
6. DO NOT ADD WATER.
7. KEEP FROM FREEZING. DO NOT STORE IN HOT SUN.

**END OF SECTION**

## 321823.3 ACRYLIC LATEX COATING

### ACRYLIC LATEX COATING

#### 1.1 DESCRIPTION

Plexichrome or equal is a 100% acrylic coating, highly pigmented to provide a colorful, long lasting finish on tennis courts and other types of recreational areas. Plexichrome or equal is used in the Plexipave or equal Color Surface System on asphalt and concrete tennis courts, and it is used on light-traffic areas, such as walkways, medians and berms, as an attractive weather-resistant coating. Plexichrome or equal protects asphalt from deteriorating effects of the sun and makes black surfaces 10-15 degrees cooler.

#### 1.2 SURFACE USES

- On tennis courts, used as final finish coat over Plexipave or equal for a fast playing surface.
- Blended with Plexipave or equal Color Base or approved dry sands to make a job-mix Fortified Plexipave or equal as a colored textured coating.

#### 1.3 APPLICATION

- For Plexichrome or equal finish coat-apply with squeegee and follow immediately behind with a wide hair-type push broom.
- Fortified Plexipave or equal filler coats and finish coats are applied with a 50 Durometer rubber squeegee only.

#### 1.4 DRYING TIME

- Approximately 30 minutes to 1 hour for each coat.
- Ready to play within 24 hours.

#### 1.5 COLOR RANGE

- Color(s) to be selected by Architect from full range of manufacturer's available standard colors.
- 10 selected colors: [Light Green, Dark Green, Florida Green, Red, Sahara Sand, Pacific Blue, Cape Gray, Brown, and Maroon].

#### 1.6 COVERAGE

- Plexichrome or equal Finish: 20-25 square yards per gallon (.05-.04 gal/sq. yd.)
- Fortified Plexipave or equal : First coat- 10-15 yards per gallon (.1-.07 gal/sq. yd.)  
Second Coat-15-20 square yards per gallon (.07-.05 gal/sq. yd.)  
Third coat-20-25 square yards per gallon (.05-.04 gal/sq. yd.)

#### 1.7 LIMITATIONS

1. Apply only when ambient temperature is 50 degrees F and rising.
2. No filling properties if surface texture and porosity varies.
3. Surface should not be powdery, cracked, or deteriorated.
4. Do not use on parking lots, and areas subject to serve usage or abrasion.
5. Do not apply when rain or high humidity is imminent.
6. Keep from freezing. Do not store in the hot sun.
7. Keep containers tightly closed when not in use.
8. The Plexipave or equal system will not prevent pavement cracks from occurring.

## **PART 2 – Mix Specifications**

### **2.1 MIXES**

Various mix designs available to adapt the texture and final speed of play:

#### Fast Play-Plexichrome or equal Finish

Plexichrome or equal	1 part
Water	1 part

#### Medium Play-Fortified Plexipave or equal

Color Base	30 gallons	Plexichrome or equal	30 gallons
Plexichrome or equal	20 gallons	*Sand(80-100 mesh)	240 lbs.
Water	20 gallons	Water	20 gallons

\*Sand samples shall be submitted to CPC for approval prior to use. Sand shall be free of contaminants. OSHA regulations shall be strictly followed.

### **2.2 SPECIFICATIONS PLEXICHROME or equal COLOR FINISH FOR ASPHALT**

- A. Over asphalt and concrete surfaces such as walkways, recreational play areas, or as designated in the site plans, 2-coats of Plexichrome or equal Acrylic color finish shall be applied with wide hair-type push brooms or by a rubber squeegee followed by a wide hair-type push broom. Dilution rate shall not exceed 1 part Plexichrome or equal to 1 part water.
- B. One coat shall be applied length wise on the surface and the second, laterally. The material shall be flowed-on freely, maintaining a wet edge in a continuous application to the opposite limit of the area.
- C. Over tennis court surfaces-Two coats of Fortified Plexipave or equal shall be applied over properly prepare asphalt and concrete surfaces using Plexichrome or equal in one of these specified mixes. See CPC Specifications Section 10.18-10.19 for application procedures on asphalt and concrete bases. As a finish coat, one coat of Plexichrome or equal may be applied crosswise with a rubber squeegee followed by a wide hair-type broom.
- D. The surface shall be of uniform porosity and free of any ridges or roller marks prior to application of Fortified Plexipave or equal or Plexichrome or equal. The finished surface shall be of new uniform color. All lines shall be painted with Plexicolor Line Paint or equal according to CPC Specifications Section 10.4. Solvent-type traffic paint shall not be used for line marking.
- E. Materials specified for the Plexipave or equal System shall be delivered to the site in sealed, green painted containers, properly labeled with California Products Corporation labels and stenciled with the proper batch code numbers. Products packaged or labeled in any other manner will not be accepted. Mixing with clean fresh water shall only be done at the job site. Spreading rates are based upon material prior to mixing with water as directed.

**END OF SECTION**

## 321823.4 COLOR BASE

### COLOR BASE

#### 1.1 DESCRIPTION

Plexipave or equal Color Base is an asbestos free, naturally colored texture base used for mixing with Plexichrome or equal and water to produce Fortified Plexipave or equal. By adding appropriate amounts of each, the on-the-job determination of color will lower material coats and eliminate the need for warehousing large quantities of ready to use Fortified Plexipave or equal in different colors. With its filler properties, job mixed Fortified Plexipave or equal provides a durable, uniformly textured, medium play tennis surface.

The Plexipave or equal Color Finishing system can be used on properly prepared asphalt and concrete surfaces. Outdoor concrete must be constructed with a vapor barrier under the slab and have adequate perimeter drainage.

#### 1.2 APPLICATION

Use 50 Durometer Flexible rubber squeegees for Fortified Plexipave or equal Filler Coats, and Fortified Plexipave Finish Coats or equal.

#### 1.3 DRYING TIME

- 30 minutes to one hour per coat
- A three-coat application in normal summer drying weather can often be made over a properly prepared surface in one day.
- Indoor applications require fans and good ventilation.

#### 1.4 COLOR RANGE

Neutral (Color obtained by the addition of Plexichrome or equal.

#### 1.5 COVERAGE

- First Coat: 10-15 sq. yds./gal. (.1-.07 gal/sq./yd.)
- Second Coat: 15-20 sq. yds./gal. (.07-.05 gal/sq. yd.)
- Third Coat: 20-25 sq. yds./gal. (.05-.04 gal/sq. yd.)
- Depending on surface porosity.

#### 1.6 MIXES

Fortified Plexipave or equal: A 30:20:20 mix is used to obtain Fortified Plexipave or equal using 30 gallons of Plexipave or equal Color Base, 20 gallons of Plexichrome or equal, and 20 gallons of water. Mix may be adjusted depending on the porosity of the surface and ambient temperature at the time of applications.

#### 1.7 LIMITATION

1. Apply only when ambient temperature is 50 degrees F and rising.
2. Do not apply when rain or high humidity is imminent.
3. Do not apply when surface temperature is in excess of 140 degrees F.
4. Allow asphalt to cure at least **21 days** before application
5. Allow concrete to cure 28 days. Do not use curing agents or concrete hardeners.

### PART 2 – SPECIFICATIONS

## **2.1 SCOPE**

- A. This specification pertains to the application of job-mixed Plexipave or equal Color Base and Plexichrome or equal over tennis courts and other recreational areas as designated in the Site Plans. The Material in colors indicated shall be for use over asphalt, concrete surfaces and must be equally durable over both. Special Binder and pigment content give excellent color development and durability.

## **2.2 SURFACE PREPARATION**

- A. Prior to applying this system, the net sleeves, center strap anchor and fencing shall be installed and approved by the owner.
- B. The asphalt (or concrete) surface to receive the color finish shall be clean, sound, free of grease, oils, and other foreign materials and shall be to the grade and pitch shown in the plans.
- C. Edges adjacent to buildings, curbing and landscaping not to be coated with this Color Finish System shall be adequately masked with tape or otherwise protected during these applications. The contractor shall also erect appropriate temporary barriers to protect the coatings during drying and curing periods.
- D. New asphalt should cure approximately 14 days prior to the application of surfacing materials. New concrete should cure for 28 days. Concrete shall have a wood float of broom finish. **DO NOT STEEL TROWEL. DO NOT USE CURING AGENTS OR CONCRETE HARDNERS.** Also, uncoated concrete surfaces must be acid washed with Concrete Preparer.
- E. Repair all ridges, cracks and birdbath prior to the application of the surfacing material (See specification 10.14.) After patching, the surface shall not vary more than +1/8 in 10 ft. measured in any direction.

## **2.3 APPLICATION OF SURFACE FILLER COAT**

- A. Asphalt-Over asphalt; apply one to two coats of Acrylic Resurfacer or equal to provide a uniformly textured surface. Allow coats to thoroughly dry before the application of subsequent coats.

## **2.4 COLOR COAT APPLIATION**

- A. Over new asphalt or concrete surfaces that have been properly prepared, apply two coats of job mixed Fortified Plexipave or equal using a mix of Plexipave or equal Color Base and Plexichrome or equal (ColorBase:20 gallons; Plexichrome or equal: 20 gallons;

Water 20-22 gallons). All work shall be done by experienced, carefully trained workmen. The first coat shall be applied lengthwise of the court and the second coat, crosswise of the court.

- B. The final finish coat shall be either Plexichrome or equal or Job Mix Fortified Plexipave or equal. For a Plexichrome or equal finish, mix 1 part Plexichrome or equal, 1 part of water and apply with a wide hair-type broom crosswise of the court.

For Job Mix Fortified Plexipave or equal use a mix of Plexipave or equal Color Base and Plexichrome or equal (Color Base: 30 gallons; Plexichrome or equal: 20 gallons; water: 20-22 gallons) The application shall be made crosswise of the court using a 50 durometer flexible rubber squeegee.

- C. White lines conforming to U.S. Tennis Association specifications shall be laid-out and Plexicolor Line Paint or equal (100% acrylic latex) applied by brushing using masking tape or templates

### **PART 3 – GENERAL**

#### **3.1 GENERAL**

- A. Materials specified for the Color Finish System or equal shall be delivered to the site in sealed, properly labeled containers and water used in mixing shall be fresh and clear. Coverage rates are based upon manufacturer's material prior to mixing with water.
- B. Upon completion, the contractor shall remove all containers, surplus materials and debris and leave the site in a clean and orderly condition acceptable to the owner. Gates shall be secured.

**END OF SECTION**

## 32 18 23.5 LINE PAINT

### LINE PAINT

#### 1.1 DESCRIPTION

- A. High reflective marking paint for use over any bituminous surface or color coating system in recreational or light traffic areas. The finished application is non-glaring, highly resistant to climatic conditions, fast drying, easily applied and provides excellent hiding. Plexicolor Line Paint or equal will not cause crazing, cracking, peeling, or deterioration to asphalt that is typical of solvent-type traffic paints. Also available as a texture line paint coating fine silica fillers.

#### 1.2 SPECIAL USES: Asphalt and color-coated concrete surfaces.

- Tennis Courts
- Play Areas
- Asphalt Shingles
- Curbs and Berms
- Running Tracks
- Parking Lots
- Restricted Travel Roadway (not subject to wet abrasion)

#### 1.3 DESCRIPTION

- Brush
- Roller
- Spray and Marking Equipment
- Airless Spray

#### 1.4 DRYING TIME

30 minutes to one hour- 1 coat

#### 1.5 COLOR RANGE

Color(s) to be selected by Architect from full range of manufacturer's available standard colors. [White, Yellow, Red, Blue, Green, Orange, Black]

#### 1.6 COVERAGE

Approximately 150-200 square feet per gallon.  
(One gallon generally required for one doubles tennis court, 481 linear feet – 2" wide).

#### 1.7 LIMITATIONS

1. Apply only when ambient temperature is 50 degrees F and rising.
2. Do not apply when rain or high humidity is imminent.
3. Not for application on general use roadways subjected to skidding tires, snowplows, or chains.
4. Keep from freezing. Do not store in hot sun.
5. Keep containers tightly closed when not in use.
6. Do not apply when surface temperature is less than 50 degrees F or more than 140 degrees F.
7. Allow asphalt to cure at least **21 days**.

### PART 2 – SPECIFICATIONS

#### 2.1 LINE PAINT SPECIFICATIONS



The Line Paint, as designated on drawings and in specifications, for use over asphaltic and tar emulsion surfaces including slurry coats, shall conform to the following characteristics and performance:

- A. The paint shall be a 100% acrylic emulsion type containing no alkyds, butadiene styrene, or vinyls and shall be thinned with water only. The paint shall also be suitable for application by brush, spray, or roller.
- B. All materials used in the manufacturing of paint shall be of good commercial quality entirely suitable for the purpose intended under normal conditions of use. For white color, the opaque portion of the pigment shall be rutile titanium dioxide and the vehicle shall consist of 100% acrylic polymer dispersed in water together with the minimum amounts of necessary additives; such as pigmented dispersants, anti-foaming agents, and preservatives; but no driers shall be used.
- C. The white paint shall meet a minimum requirement of total solids (percent by weight of paint) of 51.5% and maximum pigment content (percent by weight of paint) of 36%. The white paint shall contain not less than three pounds per gallon of treated rutile titanium dioxide. A minimum fineness of grind of 4 and a viscosity (Krebs Units) of 80 minimum and 95 maximum is required. The paint shall brush easily and have good flowing, leveling, and spreading characteristics and shall be suitable for application by spray equipment or rollers.
- D. This paint shall be suitable for use over all types of bituminous surfaces and when applied over emulsified asphalt, it shall not cause lifting, crazing, peeling, or other damage to the base.

**END OF SECTION**



**EXEMPTION FROM THE SHORELINE MANAGEMENT PROGRAM  
SUBSTANTIAL DEVELOPMENT PERMIT REQUIREMENT**

**SHX2023-00054**

- Applicant:** Sudden Valley Community Association  
c/o PNW Services, Inc.  
PO Box 30498  
Bellingham, WA 98228
- Project Description:** Repair of existing sports court in same footprint
- Project Location(s):** 10 Barn View Ct., Bellingham  
Section 08, Township 37N, Range 04E W.M.
- Parcel Number:** 370408318457
- Adjacent Water Body:** Austin Creek
- Shoreline Designation:** Urban
- SEPA:** Categorically Exempt per WAC 197-11-800 –  
3 - Repair, Remodeling and Maintenance

Pursuant to the Whatcom County Shoreline Management Program (SMP), Title 23, Section 23.60.022(B) allows for the maintenance and repair of lawfully established structures without the need for a Shoreline Substantial Development Permit if done to restore a development to a state comparable to its original condition within a reasonable period after decay or partial destruction except where repair causes substantial adverse effects to the shoreline resource or environment. Such repair can be in the form of complete replacement where such replacement is the common method of repair for the type of structure or development and the replacement structure is comparable to the original structure or development including but not limited to its size, shape, configuration, location and external appearance and the replacement does not cause substantial adverse effects to the shoreline resources or the environment.

It has been determined that the proposal is consistent with the above-referenced exemption and qualifies for review without the need to obtain a shoreline substantial development permit.

Note that an exemption from the substantial development permit process is not an exemption from compliance with shoreline regulations, or from any other regulatory

requirement. To be authorized, all uses and developments must be consistent with the policies and regulatory provisions of the SMP and the Washington State Shoreline Management Act (SMA). The Administrator may attach conditions to the approval of exempt developments and/or uses as necessary to assure consistency of the project with applicable shoreline regulations.

**The requested Shoreline Exemption is approved subject to the attached conditions.** Note that pursuant to WCC 23.60.150, a party with standing may be entitled to appeal this decision to the office of the Hearing Examiner. The application for appeal from the Shoreline Administrator's decision may be obtained at the PDS Office or online at <https://www.whatcomcounty.us/920/Applications-FormsLinks>. Such an appeal shall be filed within twenty (20) calendar days of this determination.

**Official: Andrew Hicks**  
**Title: Shoreline Administrator**

A handwritten signature in black ink, appearing to read "Andrew Hicks", is enclosed within a thin black rectangular border.

**Approved: June 1, 2023**

## CONDITIONS ASSOCIATED WITH SHX2023-00054

**S100.** The proposed work shall be consistent with the scope of the application materials provided and consistent with the site plan stamped "Site Plan Review Approval" and initialed by the Shoreline Administrator on June 1, 2023. Any changes will require additional review by the Whatcom County Shoreline Administrator.

**S101.** The sports court must be replaced within the same footprint, and shall not be any closer to Austin Creek than the existing court.

**S101.** Natural drainage patterns shall be maintained and discharges from the site shall occur at the natural location, unless it can be shown that relocation will have no significant adverse impact to either built or natural systems as a result of the relocation. (WCC20.80.634(1)(e))

**S101.** Proper Erosion Control measures shall be installed prior to any land alteration and maintained throughout the entire land disturbance / construction process. Any evidence of sedimentation shall be controlled and kept on site.

**S101.** Water from foundation excavation area shall not be pumped or directed offsite to any storm drain, ditch, or regulated Critical Area.

**S102.** Issuance of this shoreline permit does not release the applicant from any other Local, State, regional or Federal statutes or regulations applicable to the proposed development.

**S104.** The project shall not result in significant degradation of ground or surface waters and shall be completed during periods of dry weather.

**S105.** All construction debris shall be removed from the shoreline environment upon completion of the project and disposed of in accordance to all applicable regulations.

**S106.** Washington State Department of Ecology Water Quality Standards shall be maintained.

**S107.** The proposal must comply with all bulk and dimensional setback requirements as required by the Whatcom County Shoreline Management Program and the Whatcom County Zoning Code.

**S108.** Best Management Practices (BMPs) will be required in order to address any construction related impacts to water quality, the shoreline, and/or existing habitat.

**S109.** Construction shall be commenced within two (2) years of the effective date of this shoreline permit, and shall be completed in five (5) years. The Shoreline Administrator may grant a single extension for a period of not more than one (1) year based on a showing of good cause. Such request must be filed with the Shoreline Administrator before the expiration date described above.

**S110.** Should archaeological resources (e.g. shell midden, faunal remains, stone tools) be observed during project activities, all work in the immediate vicinity should stop, and the area should be secured. The Washington State Department of Archaeology and Historic Preservation (Local Government Archaeologist 360-586-3088) and the Lummi Nation Tribal Historic Preservation Office (Lena Tso, THPO 360-312-2257; Tamela Smart, Deputy THPO 360-312-2253) should be contacted immediately in order to help assess the situation and to determine how to preserve the resource(s). Compliance with all applicable laws pertaining to archaeological resources is required. If ground disturbing activities encounter human skeletal remains during the course of construction, then all activity will cease that may cause further disturbance to those remains. The area of the find will be secured and protected from further disturbance. The finding of human skeletal remains will be reported to the county medical examiner/coroner and local law enforcement in the most expeditious manner possible. The remains will not be touched, moved, or further disturbed. The county medical examiner/coroner will assume jurisdiction over the human skeletal remains and make a determination of whether those remains are forensic or non-forensic. If the county medical examiner/coroner determines the remains are non-forensic, then they will report that finding to the Department of Archaeology and Historic Preservation (DAHP) who will then take jurisdiction over the remains. The DAHP will notify any appropriate cemeteries and all affected tribes of the find. The State Physical Anthropologist will make a determination of whether the remains are Indian or Non-Indian and report that finding to any appropriate cemeteries and the affected tribes. The DAHP will then handle all consultation with the affected parties as to the future preservation, excavation, and disposition of the remains.

**S601.** No more than 500 sq. ft. of soil in total shall be exposed from October 1 through May 31 in the Lake Whatcom, Lake Samish, and Lake Padden Watersheds.

**S602.** All exposed soils shall be covered within 48 hours. After construction is complete, all disturbed soils shall be permanently stabilized.

**S603.** Revegetation of areas disturbed is the preferred method of stabilization. All revegetation within buffers shall be native.