



Sudden Valley Community Association

360-734-6430

4 Clubhouse Circle Bellingham, WA 98229

www.suddenvalley.com

Board of Directors Regular Meeting

April 25th, 2024, 7:00 PM, IN PERSON, DANCE BARN

Call to Order

Land Acknowledgement & Anti-Racism Statement

Roll Call

Item 1) Adoption of Agenda

Item 2) Consent Agenda

2a. Minutes -- Amended March 14, 2024

2b. Minutes – Amended March 28, 2024

Item 3) Announcements

Item 4) Property Owner Comments – 15 Minutes Total

Please note that comments are limited to 3 minutes per person.

Item 5) Financial Report – February 2024

Item 6) Continuing Business

6a. Code of Conduct forms for Board signatures

6b. 2024 Road & Drainage Project – Contract Award

6c. LRPC Strategic Planning Meeting – Barn 8 Project

6d. Reallocation of Expense for Backhoe 420E Repair

Item 7) New Business

7a. Capital Request -- Adult Center HVAC & Water Heater Replacement

7b. Appointment of Safety Committee Members

7c. SVCA Views Contract Renewal

7d. Austin Creek Repair – Updated Estimate & Report

7e. Request for Approval – ACC Policies Update

Adjournment



REGULAR SESSION OF THE BOARD OF DIRECTORS

Thursday, March 14, 2024

Minutes

DATE AND LOCATION: Dance Barn
CALLED TO ORDER AT: 7.02PM
AUDIENCE MEMBERS: Not Recorded

BOARD MEMBERS PRESENT:

1. Keith McLean	4. Laurie Robinson	7. Rick Asai	10. Robb Gibbs
2. Taimi Van de Polder-	5. Sonia Voldt	8. Stu Mitchell- Excused	11. Daniel Rodriguez- Excused
3. Linda Bradley	6. AJ Tischleder	9.	

ATTENDING:

Staff Members: Jo Anne Jensen, General Manager. Kyle Kaltenbach, COS.

Call to Order

President McLean called the meeting to order at 7:02PM.
Land Acknowledgement and Anti-Racism Statement.

1. Director Van De Polder made a motion to amend the agenda by reversing the order of items 8a and 8b in Closed session.

Motion By: Director Van De Polder		Seconded By: Director Bradley	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained	

President Moved to Adopt the Amended Agenda.

Motion By: Director McLean		Seconded By: Director Van de Polder	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained	

2. Consent Agenda

Director Voldt made a request to discuss item 2b. for content. Discussed revising the President's response and amend before publication.

Motion: Move to approve the February 8, 2024, minutes with corrections as agreed.

Motion By: Director Van de Polder		Seconded By: Director Bradley	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: 6	Against:	Abstained	1

Director Asai noted error in date on the 2/28/204 minutes. Noted to make correction before minutes published.

3. Announcements

3a. The new Director of Golf, Kevin LeDuc, was announced.

3b. Candidates for the Board vacancy have received two applications, closing date is 3/18/2024 so still time to apply. Interviews and appointment will take place at the regular Board meeting on 3/28/2024. Check needed early start time. Other Committee vacancies: ACC-needs five members, LRPC-needs 2-3 members.

4. Property owner comments.

Members made comments.

Questions regarding unused space in Community Center.

Boy Scout presentation of proposed project at AM PM Park.

5. GM Report

6. Continuing Business

6a. Code of Conduct/Grievance Procedure—Reviewed suggested revisions and additional language to further clarify the actual grievance procedure. Both documents will be brought back to the next meeting for approval. The Code had previously been finalized, but not voted on until both procedures could be approved.

The motion on the table is to bring back the code of conduct and the grievance procedures for our next meeting.

Motion By: Director McLean		Seconded By: Director Bradley	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained	

6b. Date for the facilities tour set for March 22nd 1:00-4:00 for those wishing to tour and the Strategic Planning Retreat will be March 23, 2024. It will start at 10:00 o'clock and go to 3:00pm.

6c. Marina Wet Slip Update

Per the Board’s request, additional information was provided by the GM that the marina slips could cost more than anticipated after information from other marina engineering experts. The current price in the engineer’s estimate is valid. The direction to the GM is that further engineering estimates will not be pursued at this time. Modifications could be made to the project to reduce the cost. It is premature at this time to try and get hard dollar amounts for a project scheduled to be six years out in 2029. We know this will be an expensive project and need to be certain how it will be funded.

7. New Business

7a. 2024 Events List and Calendar Discussion

Motion: We select the events and the dates for these events that Joanne has for Sudden Valley: presented to us in this memo for the 2024 event dates

Motion By: Director Bradley		Seconded By: Director Van De Polder	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained	

7b. LRPC Board Appointments

Motion: Nominate Sonia Voldt as second Board Director to the committee.

Motion By: AJ Tischleder		Seconded By: N/A	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained	

Motion: Appoint Kyle Kaltenbach as staff member for LRPC.

Motion By: Director McLean		Seconded: N/A	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: 5	Against: 1	Abstained: 1	

7c. Appeals Committee Alternate Member

Motion: Move to nominate Rob Gibbs as alternate Appeals Committee Member for the upcoming appeal.

Motion By: Director Van De Polder		Seconded: N/A	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained	

7d. Approval Requests

i. Lien Fees

Motion: Move that the SVCA Board of Directors approve the increase of lien fees from \$475 to \$675 to reflect the increase in fees assessed by Whatcom County.

Motion By: Director McLean		Seconded By: Director Van De Polder	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained:	

ii. Pool Services Agreement

Motion: Move that the SVCA Board of Directors approve the 2024 pool services agreement with Cesco Solutions and authorize the General Manager to execute the agreement.

Motion By: Director McLean		Seconded By: Director Van De Polder	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained:	

7e. Capital Requests

i. Tennis Court Contract Award

Motion 1: Move that the SVCA Board of Directors approve the allocation of \$302,615.38 from CRRRF as change order funding to capital code 9723.05 for construction of the Core Area: Tennis Court Resurfacing & Fencing project.

Motion By: Director McLean		Seconded By: Director Bradley	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained:	

Motion 2:

Motion: Move that the SVCA Board of Directors approve contract award to Stremler Gravel, Inc. per their proposal dated February 9h, 2024, and authorize the General Manager to execute SVCA's standard construction contract.

Motion By: Director McLean		Seconded By: Director Bradley	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained:	

8. Closed Session

Motion: Move to closed session at 9:09PM.

Motion By: Director Van De Polder		Seconded By: Director Bradley	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained:	

Motion: Move to open session at 10:54PM.

Motion By: Director Bradley		Seconded By: N/A	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained:	

President McLean: Coming back from closed session. There was some action taken on the appeal and that will be in our minutes.

Motion: Move to adjourn.

Motion By: Director Van De Polder		Seconded By: Director Voldt	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained:	

Adjourned: 10:55PM

Signed by: _____
Linda Bradley, Board of Directors Secretary



March 18, 2024

RE: Notice of Decision – Appeal of Fines for 4 & 8 Spinnaker Lane

The Board met on March 14, 2024, to review the decision of the Appeals Committee on November 2, 2024, concerning fines for 4 and 8 Spinnaker Lane and related to the event held July 22, 2024.

After deliberations by the Board, the results of the Final Decision are as follows:

Carrie Van de Polder:

- \$100 disorderly conduct (no change)

Taimi Van de Polder:

- \$100 Noxious and offensive conduct (no change)
- \$500 Vandalism \$0 (fine waived)
- \$100 Lying to avoid penalty or responsibility \$0 (fine waived)
- \$100 Disorderly behavior or conduct (no change)

Keith R. McLean
President
Sudden Valley Community Association



REGULAR SESSION OF THE BOARD OF DIRECTORS

Thursday, March 28, 2024

Minutes

DATE AND LOCATION: Dance Barn
CALLED TO ORDER AT: 6:02 PM
AUDIENCE MEMBERS: Not Recorded

BOARD MEMBERS PRESENT:

1. Keith McLean	4. Laurie Robinson	7. AJ Tischleder-excused	10. Robb Gibbs-excused
2. Taimi Van de Polder	5. Sonia Voldt	8. Stu Mitchell	11. Daniel Rodriguez
3. Linda Bradley	6. Rick Asai	9. Vacant	

ATTENDING:

Staff Members: Jo Anne Jensen, General Manager, Joel Heverling, Finance Manager, Spencer Huston, IT.

Call to Order

President McLean Called the meeting to order at 6:02PM. Land Acknowledgement and Anti-Racism Statement.

1. **President McLean announced Item 1 on the agenda.**
2. **Several motions were made to amend the agenda.**

Director Van De Polder made a motion to remove item 9b. Resolution and charter for the Communications Committee.

Director Bradley made a motion to add Item 9d. funding for Hazard Tree request.

Director Voldt requested to amend the agenda to approve a new member of the Long-Range Planning Committee.

Motion: All in favor of these amendments.

Motion By: Director McLean		Seconded By: N/A	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained	

3. **Candidate Interviews.**
 - a. **Barbara Wahli**
 - b. **Ray Meador**

4. **Candidate Selection**

Ray Meador Received 5 Votes and was appointed to the open seat on the Board of Directors.
 Barbara Wahli Received 2 Votes

5. **Consent Agenda:**

Pull Sudden Valley Item number 4, the consent agenda meeting minutes from March 14, 2024 for further review.

Motion By: Director Voldt		Seconded By:	
Approved: X	Not Approved:	Tabled:	Died:
In Favor:	Against:	Abstained 1	

6. Announcements

Another upcoming Clean Green was announced by the GM.
Director Voldt announced an upcoming meeting of the Long Range Planning Committee.

7. Homeowners Comments.

1. A member, a former GM, presented documents to the Board regarding a past project and reference to past SVCA Standard Operating Procedures.
2. A member addressed the need for the community to adopt more Firewise standards on our properties and announced a community event regarding Firewise with guest speakers to address the importance of Firewise.
3. A member addressed the Board regarding an ongoing complaint about a rental property.

7. Financial Report

8. Continuing Business

Code of Conduct and Grievance Procedure

Move that we modify the SVCA Board and Committee code of conduct policy to list a blank line for a director's name and signature and date, as well as adopting our SVCA Resolution of Grievances policy.

Motion By: Director Asai		Seconded By: Director Robinson	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained	

9. New Business

9a) Safety Committee:

The Board approves the concept of an ad hoc Safety Committee. The first order of business shall be to write and submit to the Board for approval, the charter for the committee.

Motion By: Director Robinson		Seconded By: Director Van De Polder	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:	Abstained	

9b) Approval Request-Reserve Study Contract

Move that the Board of Directors of Sudden Valley accepts the 2024, Consolidated Level 3 Reserve Study. Update proposal, invoice from smart property for \$5,104.68 to be paid for from out of Operations to immediately begin the level 3 reserve study.

Motion By: Director McLean		Seconded By: Director Bradley	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: unanimous	Against:	Abstained:	

9c) Hazardous Trees

Move that additional funding of \$55,000 from UDR be provided for the continued removal of hazardous trees during the remainder of 2024.

Motion By: Director McLean		Seconded By: Director Bradley	
Approved: X	Not Approved:	Tabled:	Died:
In Favor: Unanimous	Against:		

9d) Committee Appointment

Move that the Board to approve Joshua Bowens as the newest member of the Long-Range Planning Committee.

Motion By: Director Voldt		Seconded By: N/A	
Approved: X	Not Approved:	Tabled:	Died:

In Favor: Unanimous	Against:		
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Adjourned: 8:44 PM

Signed by: _____
Linda Bradley, Board of Directors Secretary

DRAFT

Sudden Valley Community Association

Sudden Valley Community Association
Balance Sheet
February 29, 2024 and December 31, 2023

	Unaudited** Feb 29, 2024	Unaudited** Dec 31, 2023	Inc / (Dec)
OPERATIONS			
Current Assets			
Operating Cash	\$ 482,856	\$ 685,747	\$ (202,891)
Building Completion Deposit Fund	481,920	511,445	(29,525)
Member Receivables - Operations*	-	43,985	(43,985)
Other Receivables	17,767	17,562	205
Prepaid Expenses	181,217	70,215	111,002
Operating Lease ROU Assets	3,927	5,023	(1,096)
Inventory	7,201	5,659	1,542
Total Current Assets	1,174,888	1,339,636	(164,748)
Current Liabilities			
Accounts Payable	(102,427)	(225,485)	123,058
Accrued Vacation Liability	(64,748)	(64,195)	(553)
Accrued Payroll	-	(64,114)	64,114
Prepaid Assessments	(368,832)	(230,966)	(137,866)
Building Completion Deposits	(481,920)	(511,445)	29,525
Other Refundable Deposits	(5,796)	(5,796)	-
Operating Lease Liability	(3,927)	(5,023)	1,096
Prepaid Golf Memberships	-	(112,089)	112,089
Total Current Liabilities	(1,027,650)	(1,219,113)	191,463
Operating Reserve Funds			
Emergency Operating Cash	362,520	362,252	268
Undesignated Reserves Cash	332,026	306,265	25,761
Total Operating Reserve Funds	694,546	668,517	26,029
Net Operating Assets	\$ 841,784	\$ 789,040	\$ 52,744
CAPITAL			
Capital Current Assets			
CRRRF (Capital Repair & Replacement) Cash Fund	3,803,593	3,624,027	179,566
Roads Reserve Cash Fund	2,328,270	2,039,620	288,650
Board Density Reduction Cash Fund	87,724	87,688	36
Mailbox Cash Fund	130,668	126,445	4,223
CRRRF Capital Reserve Holding Cash	220,783	222,019	(1,236)
Mitigation Assignment of Savings Cash	49,711	49,688	23
LWWSD Assignment of Savings Cash	14,916	101,840	(86,924)
Member Receivables - Capital**	-	16,112	(16,112)
Total Capital Current Assets	6,635,665	6,267,439	368,226
Capital Fixed Assets			
Fixed Assets	15,328,547	15,391,586	(63,039)
Finance ROU Assets	123,497	136,464	(12,967)
Lots Held for Sale	228,041	228,041	-
Total Capital Assets	15,680,085	15,756,091	(76,006)
Long Term Liabilities			
CRRRF Loan 2022	(1,756,456)	(1,799,425)	42,969
Finance Leases	(96,384)	(106,597)	10,213
Total Long Term Liabilities	(1,852,840)	(1,906,021)	53,181
NET ASSETS	\$ 21,304,694	\$ 20,906,549	\$398,145
MEMBER EQUITY			
Member Equity			
Current Year Net Income: Operations	153,745	434,153	(280,408)
Net Income: Rec Special Assmt	-	(180,468)	180,468
Transfers Out from Operations to Capital	(105,600)	-	(105,600)
Current Year Net Income: Capital**	245,800	1,516,019	(1,270,219)
Transfers Into Capital from Operations	105,600	-	105,600
Retained Earnings**	5,203,806	4,950,121	253,685
Capital**	15,701,343	14,186,724	1,514,619
TOTAL MEMBER EQUITY	\$ 21,304,694	\$20,906,549	\$398,145

* The Association's internal policy is to write off any member receivables that are 30 days past due as bad debts for internal financial statement purposes. As per SVCA policy, Management continues to pursue collection of these receivables via all avenues allowed by Washington State laws. In addition, the Association records and bills finance charges on receivables that are thirty days past due at 1% per month. At February 29, 2024, and December 31, 2023, the balances of receivables written off were \$703,755 and \$623,674, respectively.

** Beginning with the 2020 year end audited financial statements, Accounting Standards Codification (ASC) 606 requires issued audited financial statements to reclassify unspent capital dues revenue, including related capital transfer fee collections, as a contract liability balance (unearned revenue), which is then reversed out in future years when capital dues/capital transfer fee collections are actually expended on capital related expenditures. This particular accounting standard change is only incorporated into the issued audited financial statements and is not factored into SVCA's internal monthly statements as it would obscure the reality of monthly capital dues/capital transfer fee revenues collected for internal monthly presentation purposes. See SVCA's 2020, 2021, and 2022 audited financial statements (2022 represents the most recently issued audited statements), which fully incorporate ASC 606 and comply with Generally Accepted Accounting Principals (GAAP).

Sudden Valley Community Association

**Sudden Valley Community Association
Income Statement Summary**

<u>UNAUDITED</u>	<u>Current Month - February 2024</u>			<u>Year to Date - 2 Months Ending 2/29/2024</u>			
	<u>Operations & Operating Reserves</u>	<u>Operations Better / (Worse) Budget</u>	<u>Capital Reserves**</u>	<u>Operations & Operating Reserves</u>	<u>Operations Better / (Worse) Budget</u>	<u>Coll %</u>	<u>Capital Reserves**</u>
REVENUE							
Current Year Dues & Assessments Income							
Dues & Assessments Income	222,650		230,827	445,171			461,506
Bad Debt Reserve	(8,190)		(6,597)	(22,161)			(18,541)
Net Current Year Assessment Income	<u>214,460</u>	<u>3,177</u>	<u>224,230</u>	<u>423,010</u>	<u>443</u>	<u>95.0%</u>	<u>442,965</u>
Bad Debt Recoveries - Prior Years			3,750				12,631
Golf Income	57,000	3,203	-	223,991	3,325		-
Marina Income	139	139	-	645	645		-
Rec Center & Pools Income	480	480	-	1,291	1,291		-
Legal & Collections Income	-	-	-	-	-		-
Other Income	17,783	10,869	-	31,298	17,500		-
Rental Income - Other	125	(647)	-	315	(615)		-
Area Z Rental Income	827	827	-	4,757	(1,003)		-
Lease Income	5,430	1,284	-	10,859	2,567		-
New Home Construction Fees	3,500	3,500	-	3,500	3,500		-
Capital Gain (Loss) on Sale of Assets	-	-	-	-	-		-
Investment Income	680	589	3,730	1,426	1,243		7,612
Total Revenue	<u>300,424</u>	<u>23,421</u>	<u>231,710</u>	<u>701,092</u>	<u>28,896</u>		<u>463,208</u>
EXPENSES							
Salaries & Benefits	159,828	19,967	-	244,681	34,895		-
Contracted & Professional Services	13,328	(5,024)	-	25,418	(7,054)		-
CC&Rs/ Mandates	36,667	535	-	77,381	(4,149)		-
Maintenance & Landscaping	20,678	11,019	-	37,417	38,435		-
Utilities	24,757	(4,574)	-	35,559	(3,853)		-
Administrative	10,541	(4,361)	-	25,659	(3,762)		-
Regulatory Compliance	21,684	(19,881)	-	50,806	(44,344)		-
Insurance Premiums	14,688	(457)	-	29,377	(913)		-
Other Expenses	-	84	-	-	167		-
Depreciation Expense	-	-	96,162	-	-		192,324
Interest expense	-	-	6,023	-	-		8,972
Total Expenses	<u>302,171</u>	<u>(2,692)</u>	<u>102,185</u>	<u>526,298</u>	<u>9,422</u>		<u>201,296</u>
Net Income (Loss)	<u>(1,747)</u>	<u>20,729</u>	<u>129,525</u>	<u>174,794</u>	<u>38,318</u>		<u>261,912</u>
Other Activity							
Net Other UDR Activity*	10,845			23,489			
AR Accrual - Prior Year Reversal	-		-	(43,985)			(16,112)
AR Accrual - Current Year	-		-	-			-
Vacation Liability Accrual	(1,948)			(553)			
Total Other Activity	<u>8,897</u>		<u>-</u>	<u>(21,049)</u>			<u>(16,112)</u>
Grand Total Activity	<u>7,150</u>	<u>20,729</u>	<u>129,525</u>	<u>153,745</u>	<u>38,318</u>		<u>245,800</u>

*Prior year recoveries for operations are deposited into the Undesignated Reserve Account (UDR).

**Refer to the last footnote on the Balance Sheet (prior page) for a discussion of Accounting Standards Codification (ASC) 606 and capital dues revenue collections.

Sudden Valley Community Association

Sudden Valley Community Association
Reserve Cash Balance & Activity
 2 Months Actual, 10 Months Projected

UNAUDITED

	Capital Reserve Funds						Operating Reserve Funds			
	CRRRF	Roads	CRRRF Capital Reserve Holding Cash	Board Density Reduction	Mailbox	Mitigation Assignment of Savings*	Total Capital Reserve Funds	Emergency Ops	UDR	Total Operating Reserve Funds
Net Available Cash 12/31/2023	3,624,027	2,039,620	222,019	87,688	126,445	151,528	\$ 6,251,327	362,252	306,265	\$ 668,517
Dues Received	221,264	229,436		-	4,131		454,831	-	26,228	26,228
Storm Water Mitigation Plan Fee		-					-			-
Investment Income	4,568	2,729	164	36	92	22	7,612	268	230	498
Sale of Assets	-			-			-			-
Board Approved Transfers	105,600						105,600			-
Mitigation Release	-	86,923				(86,923)	-			-
2024 Expenditures	(151,866)	(30,438)	(1,400)	-	-		(183,705)		(697)	(697)
Net Available Cash at 2/29/2024	3,803,593	2,328,270	220,783	87,724	130,668	64,627	\$ 6,635,665	362,520	332,026	\$ 694,546
10 Month Outlook										
Outlook - 2024 Dues (95% collections)	1,070,347	1,100,886			19,865		\$ 2,191,098			\$ -
Outlook - Prior Year Collections	16,579	17,052			308		33,939		32,727	32,727
CRRRF Loan Payments for year 2024	(277,533)						(277,533)			-
Obligated Expenses/Holdings	(1,826,740)	(1,336,515)	(220,783)			(64,627)	(3,448,665)		(15,068)	(15,068)
Net Usable Cash Balance 12/31/2024	2,786,247	2,109,693	-	87,724	150,841	-	\$ 5,134,505	362,520	349,685	\$ 712,205
Board Recommended Carryover Balance	(600,000)	(500,000)					\$ (1,100,000)			\$ -
Net Usable Cash 12/31/2024, After Recommendation	\$ 2,186,247	\$ 1,609,693	\$ -	\$ 87,724	\$ 150,841	\$ -	\$ 4,034,505	\$ 362,520	\$ 349,685	\$ 712,205
Net Current Year Cash Increase (Decrease)	(837,780)	70,073	(222,019)	36	24,396	(151,528)	\$ (1,116,822)	268	43,420	\$ 43,688

*Note, when mitigation period has ended, unspent funds will be returned to the source account, Roads and CRRRF.

Sudden Valley Community Association

Sudden Valley Community Association
 Operations - By Department
 February 1, 2024 to February 29, 2024
 CURRENT MONTH

Whole \$

UNAUDITED

Department	Actual Revenue	Revenue B / (W)	Actual Salary Benefits	Salary & Benefits B / (W)	Actual Other Expense *	Other Exp B / (W)*	Net Income / (Loss) *	Net B / (W)*
ACC / Security	16,060	15,894	-	7,622	47,834	(21,579)	(31,774)	1,937
Accounting	1,864	(1,595)	26,064	1,456	2,391	118	(26,591)	(21)
Administration	161	38	36,041	2,761	8,895	(1,485)	(44,775)	1,314
Common Costs	3,778	520	-	-	27,958	(2,749)	(24,180)	(2,229)
Facilities	6,256	2,110	3,508	1,004	18,911	(3,032)	(16,163)	82
Maintenance	-	-	34,344	(1,897)	4,375	3,651	(38,719)	1,754
Subtotal	28,119	16,967	99,957	10,946	110,364	(25,076)	(182,202)	2,837
Golf	57,000	3,203	50,054	3,620	25,255	711	(18,309)	7,534
Marina	239	239	-	-	832	541	(593)	780
Rec/ Pools/ Parks	605	(168)	9,817	5,401	5,891	1,168	(15,103)	6,401
Subtotal	57,844	3,274	59,871	9,021	31,978	2,420	(34,005)	14,715
Subtotal Operations before Ops Dues	85,963	20,241	159,828	19,967	142,342	(22,656)	(216,207)	17,552
Ops Dues Earned	222,650						222,650	
Curr Yr Bad Debts Activity	(8,190)						(8,190)	
Net Ops Dues	<u>214,460</u>	<u>3,177</u>					<u>214,460</u>	<u>3,177</u>
Net Operations	300,423	23,418	159,828	19,967	142,342	(22,656)	(1,747)	20,729
Other Operating Activity								
UDR Activity	11,081				236		10,845	
AR Accrual - Prior Year Reversal	-				-		-	
AR Accrual - Current Year	-				-		-	
Vacation Liability Accrual	-				1,948		(1,948)	
Total Other Operating Activity	<u>11,081</u>				<u>2,184</u>		<u>8,897</u>	
Grand Total Operations Activity	311,504	23,418	159,828	19,967	144,526	(22,656)	7,150	20,729

* Excludes Depreciation

B / (W) = Better / (Worse) Than Budget

Sudden Valley Community Association

Sudden Valley Community Association
 Operations - By Department
 January 1, 2024 to February 29, 2024
 YEAR TO DATE

Whole \$

UNAUDITED

<u>Department</u>	<u>Actual Revenue</u>	<u>Revenue B / (W)</u>	<u>Actual Salary Benefits</u>	<u>Salary & Benefits B / (W)</u>	<u>Actual Other Expense *</u>	<u>Other Exp B / (W)*</u>	<u>Net Income / (Loss) *</u>	<u>Net B / (W)*</u>
ACC / Security	21,660	21,327	-	11,575	108,954	(52,389)	(87,294)	(19,487)
Accounting	3,480	(3,437)	40,687	2,225	3,063	1,952	(40,270)	740
Administration	268	52	54,793	4,406	14,456	4,450	(68,981)	8,908
Common Costs	10,717	4,200	-	-	58,733	(8,313)	(48,016)	(4,113)
Facilities	15,616	1,564	5,393	1,637	28,876	3,495	(18,653)	6,696
Maintenance	-	-	53,106	(1,662)	7,196	13,410	(60,302)	11,748
Subtotal	51,741	23,706	153,979	18,181	221,278	(37,395)	(323,516)	4,492
Golf	223,991	3,325	75,877	7,852	49,913	8,368	98,201	19,545
Marina	745	745	-	-	1,436	1,025	(691)	1,770
Rec/ Pools/ Parks	1,606	676	14,825	8,862	8,991	2,530	(22,210)	12,068
Subtotal	226,342	4,746	90,702	16,714	60,340	11,923	75,300	33,383
Subtotal Operations before Ops Dues	278,083	28,452	244,681	34,895	281,618	(25,472)	(248,216)	37,875
Ops Dues Earned	445,171						445,171	
Curr Yr Bad Debts Activity	(22,161)						(22,161)	
Net Ops Dues	<u>423,010</u>	<u>443</u>					<u>423,010</u>	<u>443</u>
Net Operations	701,093	28,895	244,681	34,895	281,618	(25,472)	174,794	38,318
Other Operating Activity								
UDR Activity	24,112				623		23,489	
AR Accrual - Prior Year Reversal	(43,985)				-		(43,985)	
AR Accrual - Current Year	-				-		-	
Vacation Liability Accrual	-				553		(553)	
Total Other Operating Activity	<u>(19,873)</u>				<u>1,176</u>		<u>(21,049)</u>	
Grand Total Operations Activity	681,220	28,895	244,681	34,895	282,794	(25,472)	153,745	38,318

* Excludes Depreciation

B / (W) = Better / (Worse) Than Budget

Sudden Valley Community Association

SUDDEN VALLEY COMMUNITY ASSOCIATION - LOTS & DUES ANALYSIS 2024

	SVCA Owned Lots																								LLE & CTB	Dues Exempt	Total Non Billable Lots	Total All Lots							
	Actual Year Prepaid			Actual Current			Actual 1 Mth Due		Actual 2 Mth Due		Actual 3 Mth Due		Actual 4+ Mth Due		Pmt Plans		Total Prepaid & Current			Total Not Current			Total Billable Lots						Restricted		Total				
	Vac	Dev	Total	Vac	Dev	Total	Vac	Dev	Vac	Dev	Vac	Dev	Vac	Dev	Vac	Dev	Total	Vac	Dev	Total	Vac	Dev	Total	Vac					Dev	Total		Perm	WD10	Avail.	
Jan	20	96	116	301	2,517	2,818	24	62	5	13	1	11	16	40	1	14	321	2,613	2,934	47	140	187	368	2,753	3,121	774	0	3	777	737	0	6	1,520	4,641	
Feb	22	104	126	303	2,508	2,811	14	59	10	22	3	6	15	42	1	12	325	2,612	2,937	43	141	184	368	2,753	3,121	774	0	3	777	737	0	6	1,520	4,641	
Mar	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Apr	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
May	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Jun	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Jul	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Aug	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Sep	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Oct	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Nov	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Dec	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

LLE = Lot Line Eraser
 CTB = Covenant to Bind



Sudden Valley Community Association

360-734-6430
4 Clubhouse Circle Bellingham, WA 98229
www.suddenvalley.com

CAPITAL REQUEST MEMO

To: Sudden Valley Community Association Board of Directors
From: Jo Anne Jensen, General Manager
Date: April 25, 2024
Subject: Contract Award – 2024 Road & Drainage Construction

Purpose

To request contract award and additional construction funding for 2024 Road & Drainage projects.

Background

On February 22nd, 2024, the Sudden Valley Community Association (SVCA) Board of Directors approved \$699,000 for Deer Run Lane asphalt improvements (project 9924.4) and the replacement of 40 to 45 culverts. Also on that date, the Board approved \$30,000 for the completion of the Cold Spring Drainage Repair (project 9922.8). As a result of those approvals, the two projects were jointly put out to bid with eight contractors on March 18th; an addendum was issued on April 8th. Three contractors responded. Following is a summary showing the contractors included in the bid process:

- **Granite Construction: Quoted**
- **Premium Services, Inc: Quoted**
- **Western Refinery Services, Inc.: Quoted**
- Stremler Gravel, Inc.: No quote (Too busy)
- Tiger Construction: No quote (Too busy)
- Strider Construction Co., Inc.: No quote (Too busy)
- Ram Construction: No quote (Too busy)
- Dirt Works Bellingham, Inc.: No quote (Too busy)

Tabulation of the bid results and a copy of the bid package sent to contractors is available in PNW’s memo dated April 11, 2024 (attached). The tabulation identifies Granite Construction as the low bidder.

Analysis

Total funding of \$729,000 is available for the two projects. The following items are needed for project support:

• Construction Management	\$37,125
• Engineering Layout (pre Construction)	\$3,000
• Asphalt Testing Allowance	\$4,000
• <u>Monument Preservation (PowerTek Surveying)</u>	<u>\$9,500</u>
Total Project Support Budget	\$53,625



Sudden Valley Community Association

360-734-6430
4 Clubhouse Circle Bellingham, WA 98229
www.suddenvalley.com

Subtracting project support costs from the total funds allocated for these projects results in \$675,375 available for construction funding.

The bid package divides the project into four schedules of work:

	<u>Granite Cost Est.</u>	
• Schedule A: Deer Run Lane (9924.4)	\$180,258.75	}
• Schedule B: Beaver Creek Bank Improvements (9922.8)	\$30,137.60	
• Schedule C: Culvert Replacements	\$434,913.86	
• <u>Schedule D: Additional Culverts</u>	<u>\$270,843.46</u>	
Total for all Schedules:	\$916,153.21	\$645,310.21

To stay on track with SVCA's Ten-Year Roads & Drainage Plan, all four schedules must be completed. Approved funding falls short by \$240,778.21.

I recommend that the Board of Directors approve this additional funding because:

- Delaying this portion of culvert work until 2025 will require that some of the work planned for 2025 will have to be delayed until 2026, creating a growing backlog;
- Costs for this work continue to rise, so it will be more expensive to do the work in 2025;
- Funding is available; the 2024 Capital Budget for roads includes an expected residual (after subtracting the reserves carry-over) of \$1,552,153.

Proposal

I propose that the SVCA Board of Directors authorize the General Manager to execute SVCA's standard construction contract with PowerTek Surveying with a not to exceed amount of \$9,500 for the purpose of completing monument preservation on Deer Run Lane.

I propose that the SVCA Board of Directors approve \$240,779 in additional funding for Capital Project 9924.4 from the Roads Reserve Fund.

I propose that the SVCA Board of Directors approve Granite Construction, Inc. as the contractor for the 2024 Roads and Drainage projects (9924.4 & 9922.8) and authorize the General Manager to execute SVCA's standard construction contract with Granite Construction with a not to exceed amount of \$916,153.

Motion 1

Move that the SVCA Board of Directors authorize the General Manager to execute SVCA's standard construction contract with PowerTek Surveying with a not to exceed amount of \$9,500 for the purpose of completing monument preservation on Deer Run Lane.



Sudden Valley Community Association

360-734-6430
4 Clubhouse Circle Bellingham, WA 98229
www.suddenvalley.com

Motion 2

Move that the SVCA Board of Directors approve \$240,779 in additional funding for Capital Project 9924.4 from the Roads Reserve Fund.

Motion 3

Move that the SVCA Board of Directors approve Granite Construction, Inc. as the contractor for the 2024 Roads and Drainage projects (9924.4 & 9922.8) and authorize the General Manager to execute SVCA’s standard construction contract with Granite Construction with a not to exceed amount of \$916,153.

Approvals

Motion 1

Recommended: _____ Not recommended: _____ SVCA Finance Committee

Approved: _____ Not Approved: _____ Board of Directors

Signed: _____ Date: _____

Keith McLean, SVCA Board President

Motion 2

Recommended: _____ Not recommended: _____ SVCA Finance Committee

Approved: _____ Not Approved: _____ Board of Directors

Signed: _____ Date: _____

Keith McLean, SVCA Board President

Motion 3

Recommended: _____ Not recommended: _____ SVCA Finance Committee

Approved: _____ Not Approved: _____ Board of Directors

Signed: _____ Date: _____

Keith McLean, SVCA Board President



April 11, 2024

Sudden Valley Community Association
Attn: Jo Anne Jensen
4 Clubhouse Circle
Bellingham, WA 98229

RE: Project Scope Letter
2024 Road & Drainage Project – Contract Award

At the 2-22-24 Board meeting the 2024 Road Project was approved to proceed. The project was put out to bid and sent to 8 contractors, and SVCA received 3 quotes. The low bidder was Granite Construction, and PNW is recommending SVCA proceed with contract award to Granite. Attached for reference is the bid tabulation, and bid package.

- Granite Construction – Quoted
- Premium Services Inc. – Quoted
- Western Refinery Services, Inc. – Quoted
- Stremler Gravel Inc. – No Quote – Too Busy
- Tiger Construction – No Quote – Too Busy
- Strider Construction Co., Inc. – No Quote – Too Busy
- Ram Construction – No Quote – Too Busy
- Dirt Works Bellingham, Inc. – No Quote – Too Busy

The approved capital request allocated \$699,000.00 for construction of Deer Run Lane asphalt improvements and replacement of numerous culverts. In addition, \$30,000.00 was allocated for construction of the Cold Spring Drainage Repair (SVCA Capital Code 9922.8). Combined, this allocated \$729,000.00 for construction funding. Of this, the following items are deducted for project support as identified in the approved capital request backup:

- \$37,125.00 – Construction management.
- \$3,000.00 – Engineering layout of Deer Run Lane prior to construction.
- \$4,000.00 – Asphalt testing allowance for Deer Run Lane.
- \$9,500.00 – Monument preservation on Deer Run Lane by PowerTek Surveying. This allocation was included in the Deer Run Lane engineer's estimate by Impact Design.
- \$53,625.00 is the total deduction.

After the above deduction a total of \$675,375.00 is available for construction funding in contract award to Granite Construction (\$729,000.00 total funds less \$53,625.00 project support).

Per the bid tabulation, there were 4 schedules of work. At the time of bid invitation, the sales tax rate was 8.6%; however, 4-1-24 the sales tax rate increased to 8.8%. The bid forms submitted by the contractors reflect 8.6%, but the bid tabulation reflects 8.8% and is the dollar amount referenced below.

- Schedule A – Deer Run Lane
 - o Granite's bid \$180,258.75
- Schedule B – Beaver Creek Bank Improvements (SVCA Capital Code 9922.8)



- Granite's bid \$30,137.60
- Schedule C – Culvert Replacements
 - Granite's bid \$434,913.86
- Schedule D – Additive Alternate – Additional Culverts
 - Granite's bid \$270,843.46
- Combined, Granite's total bid for all schedules is \$916,153.66. This means Schedules A, B, and C can be fully awarded with an amount of \$645,310.21. In addition, a small portion, \$30,064.79, can be awarded from Schedule D to install additional culverts (\$675,375.00 available construction funding less \$645,310.21 Schedules A,B,C).

PNW recommends SVCA issue the following contracts utilizing SVCA's standard construction contract:

- PowerTek Surveying in the amount of \$9,500.00 for monument preservation per their attached quote dated 4-5-24.
- Granite Construction in the amount of \$675,375.00 per the available funding breakdown above. This contract is based on Granite's unit price proposal dated 4-10-24.

In addition, PNW recommends SVCA increase the project funding to cover the full bid amount by Granite Construction. By doing so,

- Additional funding in the amount of \$240,778.66 is needed (Granite's total bid \$916,153.66 less current funding \$675,375.00). This is a unit price bid, and it is possible there will be slight variations in final quantities. At this time, this amount is believed to be correct, but as construction progresses it is possible quantities might vary slightly to increase or decrease this amount. For example, pipe is installed and paid by the lineal foot. Existing culverts were measured, and new culverts were projected to develop the bid quantities. A small variation could be a slight change by 1'-2' in actual length installed at a specific location due to field adjustments during construction.
- SVCA recently received a new 10-Year Capital Plan for Roads and Drainage. In order for SVCA to stay on track with the plan, all of the bid schedules need to be completed. If the majority of Schedule D is not completed these culverts will need to be pushed to another year which will then push other scopes of work in the plan further out.
- Each year prices continue to rise – wage rates increase, material prices keep going up, etc. It should be expected that if the majority of Schedule D is pushed to another year, it will cost more than proposed this year. How much more is unknown, but historical data is consistently showing everything keeps going up.

Please let me know if you have any questions, or if you would like any further information.

Sincerely,

Tyler Andrews
President

April 10, 2022 - Bid Tabulation

Project: 2024 Road Project

Granite Construction Company Premium Services Inc. WRS

Item # Description Quantity Unit Unit Price Total Unit Price Total Unit Price Total

Schedule A - Deer Run Lane

A1	Mobilization	1	LS	\$ 16,500.00	\$ 16,500.00	\$ 50,000.00	\$ 50,000.00	\$ 850.00	\$ 850.00
A2	Temporary Traffic Control	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 12,000.00	\$ 12,000.00	\$ 5,000.00	\$ 5,000.00
	Temporary Erosion and Sediment Control	1	LS	\$ 2,500.00	\$ 2,500.00	\$ 1,000.00	\$ 1,000.00	\$ 800.00	\$ 800.00
A4	Bituminous Grinding	1100	SY	\$ 35.00	\$ 38,500.00	\$ 15.00	\$ 16,500.00	\$ 13.70	\$ 15,070.00
A5	Pothole Repairs	79	SF	\$ 36.00	\$ 2,844.00	\$ 100.00	\$ 7,900.00	\$ 42.00	\$ 3,318.00
	Shouldering - Crushed Surfacing								
A6	Top Course	54	TONS	\$ 80.00	\$ 4,320.00	\$ 130.00	\$ 7,020.00	\$ 60.00	\$ 3,240.00
A7	HMA Cl. 1/2-IN PG 64-22 - Repairs	113	TONS	\$ 175.00	\$ 19,775.00	\$ 200.00	\$ 22,600.00	\$ 139.00	\$ 15,707.00
A8	HMA Cl. 1/2-IN PG 64-22 - Overlay	408	TONS	\$ 155.00	\$ 63,240.00	\$ 135.00	\$ 55,080.00	\$ 123.00	\$ 50,184.00
A9	Asphalt Berm	170	LF	\$ 10.00	\$ 1,700.00	\$ 20.00	\$ 3,400.00	\$ 13.00	\$ 2,210.00
A10	Raise Castings to Grade	10	EA	\$ 130.00	\$ 1,300.00	\$ 1,200.00	\$ 12,000.00	\$ 200.00	\$ 2,000.00
A11	Minor Changes	1	EST.	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00
	Schedule A Subtotal			\$ 165,679.00	\$ 165,679.00	\$ 197,500.00	\$ 197,500.00	\$ 108,379.00	\$ 108,379.00
	WSST @ 8.8%			\$ 14,579.75	\$ 14,579.75	\$ 17,380.00	\$ 17,380.00	\$ 9,537.35	\$ 9,537.35
	Schedule A Total w/WSST			\$ 180,258.75	\$ 180,258.75	\$ 214,880.00	\$ 214,880.00	\$ 117,916.35	\$ 117,916.35

Schedule B - Beaver Creek Bank Improvements

B1	Mobilization	1	LS	\$ 1,700.00	\$ 1,700.00	\$ 2,000.00	\$ 2,000.00	\$ 1,500.00	\$ 1,500.00
B2	Temporary Traffic Control	1	LS	\$ 500.00	\$ 500.00	\$ 2,000.00	\$ 2,000.00	\$ 200.00	\$ 200.00
	Temporary Erosion and Sediment Control	1	LS	\$ 1,500.00	\$ 1,500.00	\$ 1,800.00	\$ 1,800.00	\$ 500.00	\$ 500.00
B4	Stream Diversion	1	LS	\$ 1,500.00	\$ 1,500.00	\$ 1,400.00	\$ 1,400.00	\$ 1,500.00	\$ 1,500.00
B5	Wall Repair	1	LS	\$ 15,000.00	\$ 15,000.00	\$ 8,000.00	\$ 8,000.00	\$ 6,500.00	\$ 6,500.00
B6	Restoration & Landscaping	1	LS	\$ 2,500.00	\$ 2,500.00	\$ 7,500.00	\$ 7,500.00	\$ 2,500.00	\$ 2,500.00
B7	Minor Changes	1	EST.	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00	\$ 5,000.00
	Schedule B Subtotal			\$ 27,700.00	\$ 27,700.00	\$ 27,700.00	\$ 27,700.00	\$ 17,700.00	\$ 17,700.00
	WSST @ 8.8%			\$ 2,437.60	\$ 2,437.60	\$ 2,437.60	\$ 2,437.60	\$ 1,557.60	\$ 1,557.60
	Schedule B Total w/WSST			\$ 30,137.60	\$ 30,137.60	\$ 30,137.60	\$ 30,137.60	\$ 19,257.60	\$ 19,257.60

Schedule C - Culvert Replacements

C1	Mobilization	1	LS	\$ 39,000.00	\$ 39,000.00	\$ 20,000.00	\$ 20,000.00	\$ 6,500.00	\$ 6,500.00
C2	Temporary Traffic Control	25	EA	\$ 500.00	\$ 12,500.00	\$ 200.00	\$ 5,000.00	\$ 300.00	\$ 7,500.00
C3	Flagging	80	HRS	\$ 100.00	\$ 8,000.00	\$ 80.00	\$ 6,400.00	\$ 70.00	\$ 5,600.00
C4	Culvert Locations	25	EA	\$ 550.00	\$ 13,750.00	\$ 800.00	\$ 20,000.00	\$ 1,000.00	\$ 25,000.00
C5	12" Dia. Ductile Iron Pipe	85	LF	\$ 185.00	\$ 15,725.00	\$ 150.00	\$ 12,750.00	\$ 190.00	\$ 16,150.00
C6	12" Dia. ADS N-12 Pipe	742	LF	\$ 130.00	\$ 96,460.00	\$ 100.00	\$ 74,200.00	\$ 130.00	\$ 96,460.00
C7	18" Dia. ADS N-12 Pipe	588	LF	\$ 140.00	\$ 82,320.00	\$ 110.00	\$ 64,680.00	\$ 250.00	\$ 147,000.00
C8	24" Dia. ADS N-12 Pipe	146	LF	\$ 155.00	\$ 22,630.00	\$ 125.00	\$ 18,250.00	\$ 250.00	\$ 36,500.00
C9	Sawcutting	1449	LF	\$ 2.00	\$ 2,898.00	\$ 3.00	\$ 4,347.00	\$ 5.00	\$ 7,245.00
C10	ACP Trench Patch	3279	SF	\$ 5.00	\$ 16,395.00	\$ 12.00	\$ 39,348.00	\$ 9.65	\$ 31,642.55
C11	ACP Repairs	1241	SF	\$ 9.00	\$ 11,169.00	\$ 15.00	\$ 18,615.00	\$ 9.55	\$ 11,851.55

C12	Ditching Type 1 - Jute Matting	329	LF	\$ 10.00	\$ 3,290.00	\$ 30.00	\$ 9,870.00	\$ 20.00	\$ 6,580.00
C13	Ditching Type 2 - 2x4 Quarry Spalls	282	LF	\$ 12.00	\$ 3,384.00	\$ 45.00	\$ 12,690.00	\$ 40.00	\$ 11,280.00
C14	Type 1 Catch Basin w/ Vaned Frame & Grate	6	EA	\$ 2,000.00	\$ 12,000.00	\$ 1,300.00	\$ 7,800.00	\$ 1,100.00	\$ 6,600.00
C15	Type 1L Catch Basin w/ Vaned Frame & Grate	1	EA	\$ 2,000.00	\$ 2,000.00	\$ 2,000.00	\$ 2,000.00	\$ 1,500.00	\$ 1,500.00
C16	Sign Post Replacements	8	EA	\$ 300.00	\$ 2,400.00	\$ 250.00	\$ 2,000.00	\$ 250.00	\$ 2,000.00
C17	Tree Removal - Less Than 12" Diam	3	EA	\$ 150.00	\$ 450.00	\$ 600.00	\$ 1,800.00	\$ 250.00	\$ 750.00
C18	Tree Removal - 12" to 24" Diam.	1	EA	\$ 150.00	\$ 150.00	\$ 2,000.00	\$ 2,000.00	\$ 1,500.00	\$ 1,500.00
C19	Concrete Driveaway Replacements	758	SF	\$ 12.00	\$ 9,096.00	\$ 35.00	\$ 26,530.00	\$ 12.00	\$ 9,096.00
C20	CDF - Fill Existing 18" Dia. Pipe	112	LF	\$ 10.00	\$ 1,120.00	\$ 22.00	\$ 2,464.00	\$ 20.00	\$ 2,240.00
C21	Utility Conflicts	1	EST.	\$ 15,000.00	\$ 15,000.00	\$ 15,000.00	\$ 15,000.00	\$ 15,000.00	\$ 15,000.00
C22	Minor Changes	1	EST.	\$ 30,000.00	\$ 30,000.00	\$ 30,000.00	\$ 30,000.00	\$ 30,000.00	\$ 30,000.00
				\$ 399,737.00	\$ 395,744.00	\$ 477,994.90			
Schedule C Subtotal									
WSST @ 8.8%				\$ 35,176.86	\$ 34,825.47	\$ 42,063.55			
Schedule C Total w/ WSST				\$ 434,913.86	\$ 430,569.47	\$ 520,058.45			

Schedule D - Additive Alternate - Additional Culverts

D1	Mobilization	1	LS	\$ 10,000.00	\$ 10,000.00	\$ 1,000.00	\$ 1,000.00	\$ 500.00	\$ 500.00
D2	Temporary Traffic Control	21	EA	\$ 500.00	\$ 10,500.00	\$ 200.00	\$ 4,200.00	\$ 300.00	\$ 6,300.00
D3	Culvert Locations	21	EA	\$ 550.00	\$ 11,550.00	\$ 800.00	\$ 16,800.00	\$ 1,000.00	\$ 21,000.00
D4	12" Dia. Solid Wall SDR17 HDPE Storm Sewer Pipe	200	LF	\$ 25.00	\$ 5,000.00	\$ 80.00	\$ 16,000.00	\$ 40.00	\$ 8,000.00
D5	HDPE Pipe Anchors	6	EA	\$ 650.00	\$ 3,900.00	\$ 400.00	\$ 2,400.00	\$ 350.00	\$ 2,100.00
D6	12" Dia. ADS N-12 Pipe	1258	LF	\$ 100.00	\$ 125,800.00	\$ 100.00	\$ 125,800.00	\$ 125.00	\$ 157,250.00
D7	18" Dia. ADS N-12 Pipe	210	LF	\$ 110.00	\$ 23,100.00	\$ 110.00	\$ 23,100.00	\$ 240.00	\$ 50,400.00
D8	Sawcutting	1344	LF	\$ 2.00	\$ 2,688.00	\$ 3.00	\$ 4,032.00	\$ 5.00	\$ 6,720.00
D9	ACP Trench Patch	3307	SF	\$ 5.00	\$ 16,535.00	\$ 12.00	\$ 39,684.00	\$ 9.65	\$ 31,912.55
D10	ACP Repairs	230	SF	\$ 9.00	\$ 2,070.00	\$ 15.00	\$ 3,450.00	\$ 9.55	\$ 2,196.50
D11	Ditching Type 1 - Jute Matting	110	LF	\$ 10.00	\$ 1,100.00	\$ 30.00	\$ 3,300.00	\$ 20.00	\$ 2,200.00
D12	Ditching Type 2 - 2x4 Quarry Spalls	582	LF	\$ 12.00	\$ 6,984.00	\$ 45.00	\$ 26,190.00	\$ 40.00	\$ 23,280.00
D13	Type 1 Catch Basin w/ Vaned Frame & Grate	6	EA	\$ 2,000.00	\$ 12,000.00	\$ 1,300.00	\$ 7,800.00	\$ 1,100.00	\$ 6,600.00
D14	Sign Post Replacements	7	EA	\$ 300.00	\$ 2,100.00	\$ 250.00	\$ 1,750.00	\$ 250.00	\$ 1,750.00
D15	Extruded Curb	20	LF	\$ 100.00	\$ 2,000.00	\$ 50.00	\$ 1,000.00	\$ 30.00	\$ 600.00
D16	Tree Removal - Less Than 12" Diam	15	EA	\$ 150.00	\$ 2,250.00	\$ 600.00	\$ 9,000.00	\$ 250.00	\$ 3,750.00
D17	Tree Removal - 12" to 24" Diam.	1	EA	\$ 150.00	\$ 150.00	\$ 2,000.00	\$ 2,000.00	\$ 1,500.00	\$ 1,500.00
D18	Concrete Driveaway Replacement	320	SF	\$ 12.00	\$ 3,840.00	\$ 35.00	\$ 11,200.00	\$ 12.00	\$ 3,840.00
D19	CDF - Fill Existing 12" Dia. Pipe	200	LF	\$ 10.00	\$ 2,000.00	\$ 20.00	\$ 4,000.00	\$ 20.00	\$ 4,000.00
D20	CDF - Fill Existing 18" Dia. Pipe	537	LF	\$ 10.00	\$ 5,370.00	\$ 22.00	\$ 11,814.00	\$ 20.00	\$ 10,740.00
Schedule D Subtotal				\$ 248,937.00	\$ 314,520.00	\$ 344,639.05			
WSST @ 8.8%				\$ 21,906.46	\$ 27,677.76	\$ 30,328.24			
Schedule D Total w/ WSST				\$ 270,843.46	\$ 342,197.76	\$ 374,967.29			

Total All Schedules w/ WSST

				\$ 916,153.66	\$ 1,017,784.83	\$ 1,032,199.69			
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April 8, 2024

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)
Quote Request – 2024 Road Project
Bid Set March 18, 2024

Addendum #1 to the Bid Documents

- A. This Addendum shall be considered part of the bid documents for the above-mentioned project, and shall be incorporated integrally therewith. Where provisions of the following supplementary data differ from those of the original bid documents, this Addendum shall govern and take precedence.

- B. Bidders are hereby notified that they shall make any necessary adjustments in their estimates as a result of this Addendum. It will be understood that each bidder's proposal is submitted with full knowledge of all modifications and supplemental data specified herein.

Bid Form: A new bid form is attached, and shall be submitted by contractors. No changes except at the bottom there is an acknowledgement of addenda added.

Changes to Submittal Date: None

Changes to Drawings:

- Drawings – Schedule C & D
 - o Drawing C10 – All pipe trenches shall be backfilled with imported material. No native backfill will be allowed.

End of Addendum No. 1

Questions shall be directed to Tyler Andrews at tylera@pnwcivil.com or 360-739-2072.



April 8, 2024 – Addendum #1

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)
Bid Form – 2024 Road Project

Bid submissions are due by 2:00pm on Wednesday, 4-10-24. Email bid submissions to tylera@pnwcivil.com.

Firm Name: _____

Bid Schedule – 2024 Road Project					
Item #	Description	Quantity	Unit	Unit Price	Total
Schedule A – Deer Run Lane					
A1.	Mobilization	1	LS	\$	\$
A2.	Temporary Traffic Control	1	LS	\$	\$
A3.	Temporary Erosion and Sediment Control	1	LS	\$	\$
A4.	Bituminous Grinding	1,100	SY	\$	\$
A5.	Pothole Repairs	79	SF	\$	\$
A6.	Shouldering – Crushed Surfacing Top Course	54	TONS	\$	\$
A7.	HMA Cl. ½-IN PG 64-22 – Repairs	113	TONS	\$	\$
A8.	HMA Cl. ½-IN PG 64-22 – Overlay	408	TONS	\$	\$
A9.	Asphalt Berm	170	LF	\$	\$
A10.	Raise Castings to Grade	10	EA	\$	\$
A11.	Minor Changes	1	EST.	\$10,000.00	\$10,000.00
Schedule A Subtotal					\$
WSST @ 8.6%					\$
Schedule A Total w/ WSST					\$

Schedule B – Beaver Creek Bank Improvements					
B1.	Mobilization	1	LS	\$	\$
B2.	Temporary Traffic Control	1	LS	\$	\$
B3.	Temporary Erosion and Sediment Control	1	LS	\$	\$
B4.	Stream Diversion	1	LS	\$	\$
B5.	Wall Repair	1	LS	\$	\$



B6.	Restoration & Landscaping	1	LS	\$	\$
B7.	Minor Changes	1	EST.	\$5,000.00	\$5,000.00
	Schedule B Subtotal				\$
	WSST @ 8.6%				\$
	Schedule B Total w/ WSST				\$

	Schedule C – Culvert Replacements				
C1.	Mobilization	1	LS	\$	\$
C2.	Temporary Traffic Control	25	EA	\$	\$
C3.	Flagging	80	HRS	\$	\$
C4.	Culvert Locations	25	EA	\$	\$
C5.	12” Dia. Ductile Iron Pipe	85	LF	\$	\$
C6.	12” Dia. ADS N-12 Pipe	742	LF	\$	\$
C7.	18” Dia. ADS N-12 Pipe	588	LF	\$	\$
C8.	24” Dia. ADS N-12 Pipe	146	LF	\$	\$
C9.	Sawcutting	1,449	LF	\$	\$
C10.	ACP Trench Patch	3,279	SF	\$	\$
C11.	ACP Repairs	1,241	SF	\$	\$
C12.	Ditching Type 1 – Jute Matting	329	LF	\$	\$
C13.	Ditching Type 2 – 2x4 Quarry Spalls	282	LF	\$	\$
C14.	Type 1 Catch Basin w/ Vaned Frame & Grate	6	EA	\$	\$
C15.	Type 1L Catch Basin w/ Vaned Frame & Grate	1	EA	\$	\$
C16.	Sign Post Replacements	8	EA	\$	\$
C17.	Tree Removal – Less Than 12” Diam.	3	EA	\$	\$
C18.	Tree Removal – 12” to 24” Diam.	1	EA	\$	\$
C19.	Concrete Driveway Replacement	758	SF	\$	\$
C20.	CDF – Fill Existing 18” Dia. Pipe	112	LF	\$	\$
C21.	Utility Conflicts	1	EST.	\$15,000.00	\$15,000.00
C22.	Minor Changes	1	EST.	\$30,000.00	\$30,000.00
	Schedule C Subtotal				\$
	WSST @ 8.6%				\$
	Schedule C Total w/ WSST				\$

	Schedule D – Additive Alternate – Additional Culverts				
D1.	Mobilization	1	LS	\$	\$
D2.	Temporary Traffic Control	21	EA	\$	\$



D3.	Culvert Locations	21	EA	\$	\$
D4.	12" Dia. Solid Wall SDR17 HDPE Storm Sewer Pipe	200	LF	\$	\$
D5.	HDPE Pipe Anchors	6	EA	\$	\$
D6.	12" Dia. ADS N-12 Pipe	1,258	LF	\$	\$
D7.	18" Dia. ADS N-12 Pipe	210	LF	\$	\$
D8.	Sawcutting	1,344	LF	\$	\$
D9.	ACP Trench Patching	3,307	SF	\$	\$
D10.	ACP Repairs	230	SF	\$	\$
D11.	Ditching Type 1 – Jute Matting	110	LF	\$	\$
D12.	Ditching Type 2 – 2x4 Quarry Spalls	582	LF	\$	\$
D13.	Type 1 Catch Basin w/ Vaned Frame & Grate	6	EA	\$	\$
D14.	Sign Post Replacements	7	EA	\$	\$
D15.	Extruded Curb	20	LF	\$	\$
D16.	Tree Removal – Less Than 12" Diam.	15	EA	\$	\$
D17.	Tree Removal – 12" to 24" Diam.	1	EA	\$	\$
D18.	Concrete Driveway Replacement	320	SF	\$	\$
D19.	CDF – Fill Existing 12" Dia. Pipe	200	LF	\$	\$
D20.	CDF – Fill Existing 18" Dia. Pipe	537	LF	\$	\$
	Schedule D – Additive Alternate – Additional Culverts Subtotal				\$
	WSST @ 8.6%				\$
	Schedule D – Additive Alternate – Additional Culverts Total w/ WSST				\$

Acknowledgement of Addendums: _____

By: _____
Signature of Authorized Person

Date: _____

Print Name & Title: _____

Note: Submit proposed force account rates for labor and equipment with Bid Form.



March 18, 2024

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)
Quote Request – 2024 Road Project

SVCA is requesting quotes for the 2024 Road Project. The project includes 4 schedules of work:

- Schedule A – Deer Run Lane – Complete asphalt repairs, and overlay existing road.
- Schedule B – Beaver Creek Bank Improvements – Remove failed section of gabion basket headwall to a culvert, and replace with armor rock.
- Schedule C – Culvert Replacements – Replace 25 existing culverts.
- Schedule D – Additive Alternate – Additional Culverts – Replace up to 21 additional existing culverts as budget allows.

SVCA has approximately \$670,000.00 for construction of this project. The contract will be awarded based on the combination of all schedules including Schedule D, the additive alternate. It is anticipated Schedules A, B, and C can be completed for less than \$670,000.00. Assuming so, additional culverts will be added from Schedule D up to the full amount of funds available. The culverts have been identified in order of priority for replacement in both Schedule C and D. If \$670,000.00 isn't adequate to complete all of Schedule C, then culverts will be removed from the bottom of the list.

Summary of Work:

1. The project will go in front of SVCA's Finance Committee on Wednesday, 4-17-24, and then the Board on Thursday, 4-25-24, for contract award. NTP is anticipated 5-6-24, or upon contract execution.
2. All work is assumed to be completed under 1 mobilization.
 - a. Contractor may work 1 or multiple locations at a time.
 - b. Once a location is started, the contractor is required to continuously work until complete under typical working hours/days. Culvert replacements can have temporary surfacing installed after installation, and then asphalt patching completed at the end.
 - c. Contractor shall follow the Lake Whatcom Watershed soil disturbance requirement to not exceed 500SF from October 1st thru May 31st.
3. Permits:
 - a. Schedules A, C, and D are being completed under a Notice of Activity (NOA) permit with Whatcom County. This notice and approval are anticipated to be completed by mid-April.
 - b. Schedule B – A HPA is expected from WDFW this spring. This permit review has been underway for many months. Once received, it will be provided to the contractor, and if any design revisions are required, they will be handled under change order. It is anticipated this work will need to be completed 6-1-24 to 9-30-24, if similar to other HPA's SVCA has received in nearby locations.
4. Schedules A, B, and C have 50 working days to complete. SVCA will work with the contractor for additional working days if Schedule D work is completed. Substantial



- completion is Friday, 9-13-24. Liquidated damages shall be assessed at \$500.00 per day for any days incurred after 9-13-24 or over 50 working days. Inclement weather is incidental to the substantial completion date. Final completion is Monday, 9-30-24.
5. SVCA work hours are 8:00am – 7:00pm Monday through Friday, and 8:00am – 6:00pm Saturday.
 6. Contractor shall provide a schedule to SVCA within 2 weeks of contract execution.
 7. SVCA will allow contractor staging in the overflow parking lot located across from Gate 5 along Lake Louis Road. There is very limited staging available at each work location. Upon completion, contractor shall restore the surface of the staging area to match pre-construction.
 8. Fridays are garbage/recycling day at SVCA. Contractor shall not interfere with this pickup. If Contractor plans to have the road obstructed on Fridays, other arrangements shall be coordinated by the Contractor for garbage/recycling collection. Asphalt paving will not be allowed on Friday's.
 9. Survey:
 - The project is intended to be a field fit project, and a licensed surveyor isn't required. The engineer will coordinate with the contractor to identify repair locations ahead of starting.
 - Deer Run Lane – The engineer will identify project limits and paint out repair locations prior to contractor starting. SVCA's surveyor will coordinate with contractor to asbuilt existing monuments prior to construction and expose them after overlay.
 10. If contractor needs water, a hydrant is available with a water meter located at Area Z (SVCA's Maintenance Shop).
 11. Traffic control per MUTCD and WSDOT standards.
 12. Installation shall follow WSDOT specifications and standards.
 - a. Reference attached asphalt specification. All asphalt joints shall be sealed, and road shall be tac-coated prior to overlay.
 13. Force account work to receive 15% markup. Contractor to provide proposed force account rates for labor and equipment with Bid Proposal.
 14. Owner will hire a testing agency.
 15. Contractor shall provide Performance and Payment Bonds. Bid bonds are not required.
 16. This is a private project, and prevailing wages are not applicable.
 17. Contractor shall warranty work for 1 year from final completion.

Bid Item Clarifications:

- **Schedule A – Deer Run Lane**
 - Bid Item A2 – Temporary Traffic Control
 - Contractor may close the road to thru traffic during work hours. Access shall be maintained for homeowners and deliveries. Contractor is required to have a person at both ends of the road to coordinate traffic during closures. No closures are allowed on Friday or Saturday.
 - Contractor may close isolated locations during work hours. For example, at station 5+30.9 there is a pothole to repair. Contractor may close the road at this location and direct traffic around. If contractor elects to do

this, there shall be a dedicated spotter at the work location coordinating traffic with the traffic coordinators at both ends of the road.

- Full closure will be allowed for 5 days between the hours of 8:00am and 6:00pm. Contractor shall provide door notices to each residence 72 hours in advance of road closures. No road closures are allowed on Friday or Saturday.
- Bid Item A5 – Pothole Repairs
 - This item includes sawcutting, removal of asphalt, excavation, and placement of CSTC. Asphalt placement is included in Bid Item A7.
- Bid Item A9 – Asphalt Berm
 - Placement of berms will be directed by the engineer. The intent of the berm is to keep water from flowing down driveways. Berm size is approximately 1’ wide and 2” tall.
- **Schedule B – Beaver Creek Bank Improvements**
 - Bid Item B2 – Temporary Traffic Control
 - If contractor intends to take a lane for construction, a dedicated traffic spotter shall be onsite.
 - Bid Item B5 – Wall Repair
 - This item includes removal of the existing wall, and replacement. There is a drainpipe going through the existing wall. This drainpipe will be removed, and not reinstalled. The ditch shall be minorly filled to drain away from the wall.
 - Bid Item B6 – Restoration and Landscaping
 - This item covers site restoration, planting of 5 trees, and removal of ivy on 4 trees. New trees to be 2” caliber.
- **Schedule C – Culvert Replacements**
 - Bid Item C2 – Temporary Traffic Control
 - Contractor may close the road when nearby detour routes are available. If road closure is planned, the contractor shall set a Type 3 Barricade with Road Closed Ahead / Local Access Only sign at the nearest intersection on both sides, and another Type 3 Barricade with Road Closed located on both sides of the work zone.
 - If nearby detour routes aren’t available, the contractor should plan on maintaining 1 lane access with steel plate cover as needed.
 - Contractor shall plan to have 1 designated traffic spotter onsite whenever work is occurring at culvert locations. Traffic spotter shall assist directing traffic as needed.
 - Bid Item C3 – Flagging
 - This item is an allowance if flagging is required. The intent is all work is completed with a traffic spotter under item #2 above. Flagging will be utilized for busy roads when 1 lane traffic must be maintained.
 - Bid Item C4 – Culvert Locations

- This item covers mobilizing within SVCA between culvert locations, and any incidentals not covered under separate bid item.
- Bid Items C5 – 8 – Pipe Installation
 - These items include demolition (except sawcutting covered under Item 9), excavation, bedding, pipe installation, and backfill.
 - Both ends of pipe shall be armored with quarry spalls.
 - The trench shall be patched with cold mix upon completion until asphalt is installed.
 - New culverts are generally proposed to be installed where existing culverts are located to avoid utility conflicts.
 - Contractor shall note that every culvert location will likely cross at least 1, if not numerous utilities, and that often the communications and power lines are direct buried without conduit.
 - If contractors use a vactor truck, they may use the pit located at Area Z for dumping the truck. The contractor shall clean the pit upon completion and dispose of the material offsite.
 - The Culvert Table spreadsheet includes average culvert depth at each location. This is approximate and is provided for contractor convenience.
- Bid Item C10 – ACP Trench Patch
 - The quantities shown on the Culvert Table spreadsheet are for contractor reference. The width is the maximum width SVCA will pay up to. If the contractor elects to not use shoring, and additional asphalt patching width is required it shall be incidental to Item C4 – Culvert Locations.
- Bid Item C11 – ACP Repairs
 - Some of the culvert locations have asphalt defects next to them. This item includes removal of existing asphalt, subgrade preparation to include 2” of CSTC, and asphalt patching. Sawcutting is covered under Item C9.
- Bid Item C16 – Sign Post Replacements
 - Existing signs shall be removed for contractor access where necessary. The existing signs shall be mounted to a new pressure treated 4x4 post, and reinstalled.
- Bid Item C17 and C18 – Tree Removals
 - Contractor shall remove trees as directed when tree is in direct conflict with pipe trench. Contractor may leave stump in place if trench allows.
 - Contractor may take tree logs to Area Z (SVCA’s Maintenance Shop) and leave for community firewood. Logs shall be 4” diameter or larger. All other debris shall be disposed of by contractor.
- Bid Item C19 – Concrete Driveway Replacement
 - Concrete shall be a 4,000psi, 3-day mix with fiber. Jointing shall match existing layout, and be brush finished.
- Bid Item C21 – Utility Conflicts
 - As noted above, contractor shall anticipate working around utilities. This item will apply if:



- Existing utilities create a conflict for removing existing culvert / installation of new culvert. For example, a communication line is installed inside of the existing culvert.
 - A few of the culverts will be abandoned, and new alignments installed if utilities are discovered during installation that require reworking of trench, or exploration is required.
 - Utilities are encountered that aren't located or are mismarked.
- **Schedule D – Additive Alternate – Additional Culverts**
- Reference Schedule C notes for Schedule D bid items.
 - Bid Item D4 – 12” Dia. Solid Wall SDR17 HDPE
 - Pipe shall be installed above ground, and secured with Item D5.
 - Pipe ends shall be armored with quarry spalls.

Attachments:

1. Bid Form – 3 Pages
2. Schedule C & D Culvert Table – 2 Pages
3. Asphalt Specification – 3 Pages
4. Drawings – Schedule A – 7 Pages
5. Drawings – Schedule B – 5 Pages
6. Drawings – Schedule C & D – 10 Pages
7. SVCA Standard Contract – 12 Pages

Questions shall be directed to Tyler Andrews at tylera@pnwcivil.com or 360-739-2072. Contractors are encouraged to independently visit the site; no formal pre-bid is scheduled. Bids are due by 2:00 pm on Wednesday, 4-10-24. Email bid submissions to tylera@pnwcivil.com.



March 18, 2024

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)
Bid Form – 2024 Road Project

Bid submissions are due by 2:00pm on Wednesday, 4-10-24. Email bid submissions to tylera@pnwcivil.com.

Firm Name: _____

Bid Schedule – 2024 Road Project					
Item #	Description	Quantity	Unit	Unit Price	Total
Schedule A – Deer Run Lane					
A1.	Mobilization	1	LS	\$	\$
A2.	Temporary Traffic Control	1	LS	\$	\$
A3.	Temporary Erosion and Sediment Control	1	LS	\$	\$
A4.	Bituminous Grinding	1,100	SY	\$	\$
A5.	Pothole Repairs	79	SF	\$	\$
A6.	Shouldering – Crushed Surfacing Top Course	54	TONS	\$	\$
A7.	HMA Cl. ½-IN PG 64-22 – Repairs	113	TONS	\$	\$
A8.	HMA Cl. ½-IN PG 64-22 – Overlay	408	TONS	\$	\$
A9.	Asphalt Berm	170	LF	\$	\$
A10.	Raise Castings to Grade	10	EA	\$	\$
A11.	Minor Changes	1	EST.	\$10,000.00	\$10,000.00
Schedule A Subtotal					\$
WSST @ 8.6%					\$
Schedule A Total w/ WSST					\$

Schedule B – Beaver Creek Bank Improvements					
B1.	Mobilization	1	LS	\$	\$
B2.	Temporary Traffic Control	1	LS	\$	\$
B3.	Temporary Erosion and Sediment Control	1	LS	\$	\$
B4.	Stream Diversion	1	LS	\$	\$
B5.	Wall Repair	1	LS	\$	\$



B6.	Restoration & Landscaping	1	LS	\$	\$
B7.	Minor Changes	1	EST.	\$5,000.00	\$5,000.00
	Schedule B Subtotal				\$
	WSST @ 8.6%				\$
	Schedule B Total w/ WSST				\$

	Schedule C – Culvert Replacements				
C1.	Mobilization	1	LS	\$	\$
C2.	Temporary Traffic Control	25	EA	\$	\$
C3.	Flagging	80	HRS	\$	\$
C4.	Culvert Locations	25	EA	\$	\$
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C12.	Ditching Type 1 – Jute Matting	329	LF	\$	\$
C13.	Ditching Type 2 – 2x4 Quarry Spalls	282	LF	\$	\$
C14.	Type 1 Catch Basin w/ Vaned Frame & Grate	6	EA	\$	\$
C15.	Type 1L Catch Basin w/ Vaned Frame & Grate	1	EA	\$	\$
C16.	Sign Post Replacements	8	EA	\$	\$
C17.	Tree Removal – Less Than 12” Diam.	3	EA	\$	\$
C18.	Tree Removal – 12” to 24” Diam.	1	EA	\$	\$
C19.	Concrete Driveway Replacement	758	SF	\$	\$
C20.	CDF – Fill Existing 18” Dia. Pipe	112	LF	\$	\$
C21.	Utility Conflicts	1	EST.	\$15,000.00	\$15,000.00
C22.	Minor Changes	1	EST.	\$30,000.00	\$30,000.00
	Schedule C Subtotal				\$
	WSST @ 8.6%				\$
	Schedule C Total w/ WSST				\$

	Schedule D – Additive Alternate – Additional Culverts				
D1.	Mobilization	1	LS	\$	\$
D2.	Temporary Traffic Control	21	EA	\$	\$



D3.	Culvert Locations	21	EA	\$	\$
D4.	12" Dia. Solid Wall SDR17 HDPE Storm Sewer Pipe	200	LF	\$	\$
D5.	HDPE Pipe Anchors	6	EA	\$	\$
D6.	12" Dia. ADS N-12 Pipe	1,258	LF	\$	\$
D7.	18" Dia. ADS N-12 Pipe	210	LF	\$	\$
D8.	Sawcutting	1,344	LF	\$	\$
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D20.	CDF – Fill Existing 18" Dia. Pipe	537	LF	\$	\$
	Schedule D – Additive Alternate – Additional Culverts Subtotal				\$
	WSST @ 8.6%				\$
	Schedule D – Additive Alternate – Additional Culverts Total w/ WSST				\$

By: _____
Signature of Authorized Person

Date: _____

Print Name & Title: _____

Note: Submit proposed force account rates for labor and equipment with Bid Form.

SVCA 2024 Culvert Replacements

Culvert ID	Zone Number	Approximate Address	Ductile Iron 12" Diameter (ft)	HDPE 12" Diameter (ft)	ADS 12" Diameter (ft)	ADS 18" Diameter (ft)	ADS 24" Diameter (ft)	Average Culvert Depth (ft)	Sawcutting (ft)	ACP Trench Length (ft)	ACP Trench Width (ft)	ACP Trench Patching (sf)	Additional ACP Patching (sf)	Ditching - Type 1 - Jute Matting	Ditching - Type 2 - Quarry Spill	Type 1 Catch Basin	Type 1L Catch Basin	Sign Post	Extruded Curb	Tree Removals - < 12" Diam.	Tree Removals - 12" to 24" Diam.	Concrete Driveway (sf)	CDF	Notes
Schedule C																								
403	Zone 9	230 Polo Park Dr			59			4.5	92	46	6	0	567	0	0	0	0	0	0	0	0	0	0	Install new pipe at existing inlet, and extend approximately 36' to be 1' from edge of asphalt, and install Type 1 CB. From CB install 48' of pipe to existing outlet location. New CB alignment sweeps pipe away from trees. Abandon existing pipe and fill with rbf.
404	Zone 9	230 Polo Park Dr			84			4.5	40							1					320	79'	Remove existing CB at entrance corner, install new CB in line with existing road crossing pipe approximately 5' from existing pipe inlet creating low point in asphalt. Install approximately 8' of pipe from CB to new pipe inlet in ditch, and approximately 37' of pipe to outlet. From outlet install shallow ditch at edge of asphalt and connect to existing ditch past tree.	
FND67	Zone 1	Gate 1 Mailbox Entrance	45					0.5	65	27	4	108	567	55		1								
FND 68.2	Area Z	Maintenance Parking			12		4.0						99											
FND 68.3	Area Z	Maintenance Parking			93		3.0						47											
FND 68.4	Area Z	Btwn Maintenance/Tail Barn			42		5.0						76											
FND 68.1	Area Z	Toward Community Garden	40				0.5						87											
FND Area Z	Area Z	Tall Barr Drainage			205		3.5									4								Install CB's in front of both end sliding doors, and install 2 CB's on west side of Tall Barr with pipe to outlet at existing 12" outlet. Gravel to be graded to provide positive drainage; grading to be completed on force account. Located at end of road past LWWSD pump station. Pipe connects to existing CB and daylight. SVCA to coordinate contractor access with LWWSD.
FND 21.2	Zone 3A	Newberry Ct			28		6.0																	
205	Zone 3A	15 Spring Rd				43	6.0	40	40	20	7	140												
176	Zone 3B	24 Lost Fork Ln			53		3.5	68	68	16	5	80												
433	Zone 3B	13 Strawberry Q'n Ct			46		4.0																	
402	Zone 3B	7 Lost Fork Ln			40		3.5							110										
103	Zone 3C	142 Harbor View Dr				43	5.0	44	44	22	6	132								2				
99	Zone 3C	28 Plum Ln			51		5.0	72	72	36	6	216										187		
214	Zone 3C	46 Maple Ct				42	5.0	56	56	28	6	168	45											
122	Zone 3D	2 Rocky Ridge Dr			32		4.0	140	140	30	6	180	90											
117	Zone 3D	54 Harbor View Dr			40		6.5	81	81	24	7	168	70										67	
FND 30	Zone 3D	99 Harbor View Dr			41		5.0	129	129	24	6	144	469											
109	Zone 3D	55 Green Hill Rd			46		4.0	56	56	28	5	140			117									
120	Zone 3D	10 Harbor View Dr			42		5.5	48	48	24	6	144												
118	Zone 3D	46 Harbor View Dr			43		7.0	48	48	24	7	168												
110	Zone 3D	125 Harbor View			53		7.0	56	56	28	7	196												
39	Zone 9	8 Horseshoe Cir			34		4.0	78	78	15	4	60										251		
27	Zone 13	66 Polo Park Dr			44		3.5	68	68	34	4	136												
20	Zone 13	168 Polo Park Dr			42		6.0	46	46	23	5	115								1				
55	Zone 13	5 River Ridge Loop			48		4.0	46	46	23	4	92												
78	Zone 13	29 Sunnyside Ln			50		7.0	46	46	23	7	161												
1	Zone 13	150 Polo Park Dr			60		6.0	80	80	40	7	280		20									45	
13	Zone 5	18 Big Leaf ln				60	7.0	50	50	25	7	175												
Schedule C - Totals																								
			85	0	742	588	146		1449			3279	1241	329	282	6	1	8	0	3	1	758	112	
			FT	FT	FT	FT	FT		LF			SF	SF	LF	LF	EA	EA	EA	LF	EA	EA	SF	LF	

Additive Alternate - Additional Culverts

Culvert ID	Zone Number	Approximate Address	Ductile Iron 12" Diameter (ft)	HDPE 12" Diameter (ft)	ADS 12" Diameter (ft)	ADS 18" Diameter (ft)	ADS 24" Diameter (ft)	Average Culvert Depth (ft)	Sawcutting (ft)	ACP Trench Length (ft)	ACP Trench Width (ft)	ACP Trench Patching (sf)	Additional ACP Patching (sf)	Ditching - Type 1 - Jute Matting	Ditching - Type 2 - Quarry Spill	Type 1 Catch Basin	Type 1L Catch Basin	Sign Post	Extruded Curb	Tree Removals - <12" Diam.	Tree Removals - 12" to 24" Diam.	Concrete Driveway (sf)	CDF	Notes
157	Zone 1	5 North Point Dr		30			6.0	36	18	7	126							2						Connect to existing upstream CB. Remove and rebuild outlet rock wall on force account.
144	Zone 1	26 Longshore Ln		31			3.5	40	20	4	80	60												Existing custom outlet rock wall - remove and rebuild on force account. Repair adjacent 4x12 deliam area and 3x4 utility patch.
155	Zone 1	83 Windward Dr		36			4.0	48	24	4	96													
FND 49	Zone 1	17 Marina Dr		40			4.0	46	23	5	115									3				Connect to inlet to existing catch basin. Remove three approx. 6" diam. trees near outlet.
139	Zone 1	17 Clear Lake Ct		41			3.0	70	35	4	140			20										Connect outlet to existing catch basin. Restore landscaping on force account.
FND 53	Zone 1	142 Windward Dr		41			3.5	0	0	0	0									1				Remove 1 approx. 6" diam. tree at inlet.
142	Zone 1	65 Windward Dr		49			3.0	72	36	4	144													Connect to existing CB at inlet and outlet.
415	Zone 1	28 Windward Dr		53			3.0	102	51	4	204													Replace two pipe sections - 20' and 15'. One between existing CBs crossing road, and one between downstream CB and manhole. Remove and repair pavement adjacent to pipe trenching to provide for the same drainage flow as currently exists. Repair shoulder as needed.
FND 48	Zone 1	20 Par Ln		35			3.5	70	25	4	100	70												Ditch 30' at outlet, and 20' at inlet.
FND 45	Zone 2	23 Sunflower Cir		20			2.0	28	14	4	56			50										Outlet connects to existing catch basin.
75	Zone 2	43 Margold Dr		41			2.5	60	30	4	120													Shift outlet 2-ft southerly to avoid tree roots. Raise new pipe at outlet to match existing receiving ditchline bottom.
203	Zone 2	14 Lake Louise Dr			59		7.0	50	25	7	175													Remove approx. 8" and 18" diam. tree at inlet, and 8" diam. tree at outlet. Remove 1 CB and 15' of pipe, and reinstall after culvert 63 is replaced. Remove and replace 20' of extruded curb. Parking strip and landscaping to be repaired under force account.
63	Zone 2	52 Lake Louise Dr		86		75	10.0	72	36	8	288	100							20	2	1			Culvert crosses under Lost Lake Ln.
431	Zone 13	29 Lost Lake Ln			76		6.0	86	43	7	301							2						Remove existing catch basin in pipe alignment, and leave out with new installation. At outlet install ditch for 75' to culvert inlet. Trenching across Sofield Park - set sod to side, and replace on trench for restoration.
143	Zone 1	26 Longshore Ln			86		3.0	28	14	4	56			75										At outlet remove 9 trees between 3" and 8" diameters. Above outlet ditch back to driveway culvert.
133	Zone 3C	4 North Summit Dr		83			8.0	70	33	7	231								1	9				Pipe is 3 segments connecting to 2 CB's mid run. Crosses concrete driveway.
410	Zone 2	22 Lake Louise Dr		120			2.5	32	32		0							1				320		Culvert connects to 1 CB mid run. Ditch 17' at outlet and 190' at inlet.
126	Zone 3D	1 Sudden Valley Dr		125			4.0	114	57	5	285			207										Abandon existing pipe, and install new above ground HDPE pipe with anchors.
445	Zone 2	20 Lake Louise Dr (Outlet)		200							0												200	Abandon existing alignment. Install CB between 4 and 6 driveway culverts. Install 2 CB's to navigate the corner, and new pipe outlets at inlet to FND 46. At abandoned inlet ditch for 110'.
FND 42	Zone 2	6 Lake Louise Dr		144			4.0	100	50	7	350			110	15	3							254	2 sections of pipe, 161' and 122'. Install 1 CB in 122' to sweep pipe towards road, and install 2 CB's in 161' to sweep pipe towards road. Pipe crosses multiple asphalt driveway approaches. Landscape restoration on force account for planting. Existing pipes to be abandoned in place.
FND 61	Zone 2	37-30 Margold Dr		283			3.0	220	110	4	440				165	3			1					283

Additive Alternate - Additional Culvert Totals																								
0	0	200	1258	210	0	0	1344	3307	230	110	582	6	0	7	20	15	1	320	737					LF

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DIVISION 5 SURFACE TREATMENTS & PAVEMENTS

5-04 HOT MIX ASPHALT

5-04.1 Description

(****)

Add to this section:

Warm Mix Asphalt (WMA) shall not be used on this project.

5-04.2 Materials

Section 5-04.2 is supplemented with the following:

(****)

ESAL's

The number of ESAL's for the design and acceptance of the HMA shall be **less than 0.3 million**.

5-04.3(3)A Material Transfer Device / Vehicle

(January 16, 2014 APWA GSP)

The first paragraph of this section is revised to read:

Additionally, a material transfer device or vehicle (MTD/V) is not required at the following locations.

A MTD/V is not required to be used on this project.

5-04.3(7)A2 Statistical or Nonstatistical Evaluation

Delete this section and replace it with the following:

5-04.3(7)A2 Statistical or Nonstatistical Evaluation

(January 16, 2014 APWA GSP)

Delete this section and replace it with the following:

Mix designs for HMA accepted by Nonstatistical or Commercial evaluation shall;

- Be submitted to the Project Engineer on WSDOT Form 350-042
- Have the aggregate structure and asphalt binder content determined in accordance with WSDOT Standard Operating Procedure 732 and meet the requirements of Sections 9-03.8(2) and 9-03.8(6).
- Have anti-strip requirements, if any, for the proposed mix design determined in accordance with WSDOT Test Method T 718 or based on historic anti-strip and aggregate source compatibility from WSDOT lab testing. Anti-strip evaluation of HMA mix designs utilized that include RAP will be completed without the inclusion of the RAP.

At or prior to the preconstruction meeting, the contractor shall provide one of the following mix design verification certifications for Contracting Agency review;

- 1 • The proposed mix design indicated on a WSDOT mix design/anti-strip report that is within
- 2 one year of the approval date
- 3 • The proposed HMA mix design submittal (Form 350-042) with the seal and certification
- 4 (stamp & signature) of a valid licensed Washington State Professional Engineer.
- 5 • The proposed mix design by a qualified City or County laboratory mix design report that
- 6 is within one year of the approval date.
- 7

8 The mix design will be performed by a lab accredited by a national authority such as Laboratory
9 Accreditation Bureau, L-A-B for Construction Materials Testing, The Construction Materials
10 Engineering Council (CMEC's) ISO 17025 or AASHTO Accreditation Program (AAP) and shall
11 supply evidence of participation in the AASHTO Material Reference Laboratory (AMRL) program.
12

13 At the discretion of the Engineer, agencies may accept mix designs verified beyond the one year
14 verification period with a certification from the Contractor that the materials and sources are the
15 same as those shown on the original mix design.
16

17 **5-04.3(8)A1 General**

18 *(January 16, 2014 APWA GSP)*
19

20 Delete this section and replace it with the following:
21

22 Acceptance of HMA shall be as defined under nonstatistical or commercial evaluation.
23

24 Nonstatistical evaluation will be used for all HMA not designated as Commercial HMA in the
25 contract documents.
26

27 The mix design will be the initial JMF for the class of HMA. The Contractor may request a change
28 in the JMF. Any adjustments to the JMF will require the approval of the Project Engineer and
29 must be made in accordance with Section 9-03.8(7).
30

31 Commercial evaluation may be used for Commercial HMA and for other classes of HMA in the
32 following applications: sidewalks, road approaches, ditches, slopes, paths, trails, gores,
33 prelevel, and pavement repair. Other nonstructural applications of HMA accepted by
34 commercial evaluation shall be as approved by the Project Engineer. Sampling and testing of
35 HMA accepted by commercial evaluation will be at the option of the Project Engineer.
36 Commercial HMA can be accepted by a contractor certificate of compliance letter stating the
37 material meets the HMA requirements defined in the contract.
38

39 **5-04.3(8)A4 Definition of Sampling Lot and Sublot**

40 *(January 16, 2014 APWA GSP)*
41

42 Section 5-04.3(8)A4 is supplemented with the following:
43

44 For HMA in a structural application, sampling and testing for total project quantities less than
45 400 tons is at the discretion of the engineer. For HMA used in a structural application and with
46 a total project quantity less than 800 tons but more than 400 tons, a minimum of one acceptance
47 test shall be performed:

- 48 i. If test results are found to be within specification requirements, additional testing
- 49 will be at the engineers discretion.

- 1 ii. If test results are found not to be within specification requirements, additional
2 testing as needed to determine a CPF shall be performed.
3

4 **5-04.3(8)A5 Test Results**
5 *(January 16, 2014 APWA GSP)*
6

7 The first paragraph of this section is deleted.
8

9 **5-04.3(8)A6 Test Methods**
10 *(January 16, 2014 APWA GSP)*
11

12 Delete this section and replace it with the following:
13

14 Testing of HMA for compliance of Va will be at the option of the Contracting Agency. If tested,
15 compliance of Va will be use WSDOT Standard Operating Procedure SOP 731. Testing for
16 compliance of asphalt binder content will be by WSDOT FOP for AASHTO T 308. Testing for
17 compliance of gradation will be by WAQTC FOP for AASHTO T 27/T 11.
18

19 **5-04.3(16) Weather Limitations**
20 *(*****)*
21

22 Delete this section and replace it with the following:
23

24 HMA shall not be applied to any wet surface or when weather conditions otherwise prevent the
25 proper handing or finishing of bituminous mixtures.
26

27 HMA shall not be applied when the ground temperature is lower than 50° F without writing
28 approval from the engineer.
29

30 HMA shall not be applied when the air temperature is lower than 35° F without writing approval
31 from the engineer.
32

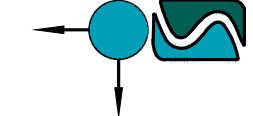
33
34 **5-04.5(1)B Price Adjustments for Quality of HMA Compaction**
35 *(January 16, 2014 APWA GSP)*
36

37 Delete this section and replace it with the following:
38

39 The maximum CPF of a compaction lot is 1.00.
40

41 For each compaction lot of HMA when the CPF is less than 1.00, a Nonconforming Compaction
42 Factor (NCCF) will be determined. THE NCCF equals the algebraic difference of CPF minus
43 1.00 multiplied by 40 percent. The Compaction Price Adjustment will be calculated as the
44 product of the NCCF, the quantity of HMA in the lot in tons and the unit contract price per ton of
45 the mix.
46
47

SUDDEN VALLEY ROADWAY MAINTENANCE 2024



CONTACT INFORMATION:

SURVEYOR
 POWERTEK SURVEYING
 100 BARKETT ROAD
 SUITE 100
 FERNDALE, WA 98248
 (360) 746-8801
 JDS@POWERTEK.NET

CLIENT
 PINW SERVICES, INC.
 PO BOX 30498
 BELLINGHAM, WA 98226
 425-364-9614

LEGEND

- FOUND REBAR & CAP
- SET NAIL & SHINER
- SET NAIL & TACK
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER CLEAN-OUT
- EXISTING STORM DRAINAGE CATCH BASIN
- ⊕ EXISTING FIRE HYDRANT
- ⊗ EXISTING WATER VALVE
- ⊠ EXISTING WATER METER SERVICE
- ⊡ EXISTING UTILITY JUNCTION BOX
- 12" TREE DIAMETER
- ★ EXISTING TREE (CONIFER)
- ⊙ EXISTING TREE (DECIDUOUS)

SHEET INDEX:

- C1 COVER SHEET
- C2 DEER RUN LANE IMPROVEMENTS
- C3 DEER RUN LANE IMPROVEMENTS
- C4 DEER RUN LANE IMPROVEMENTS
- C5 DEER RUN LANE TESCO
- C6 SWPPP
- C7 DETAILS

PROJECT TOTAL NEW AND REPLACED HARD SURFACES

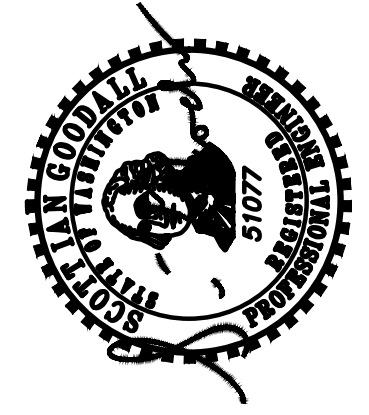
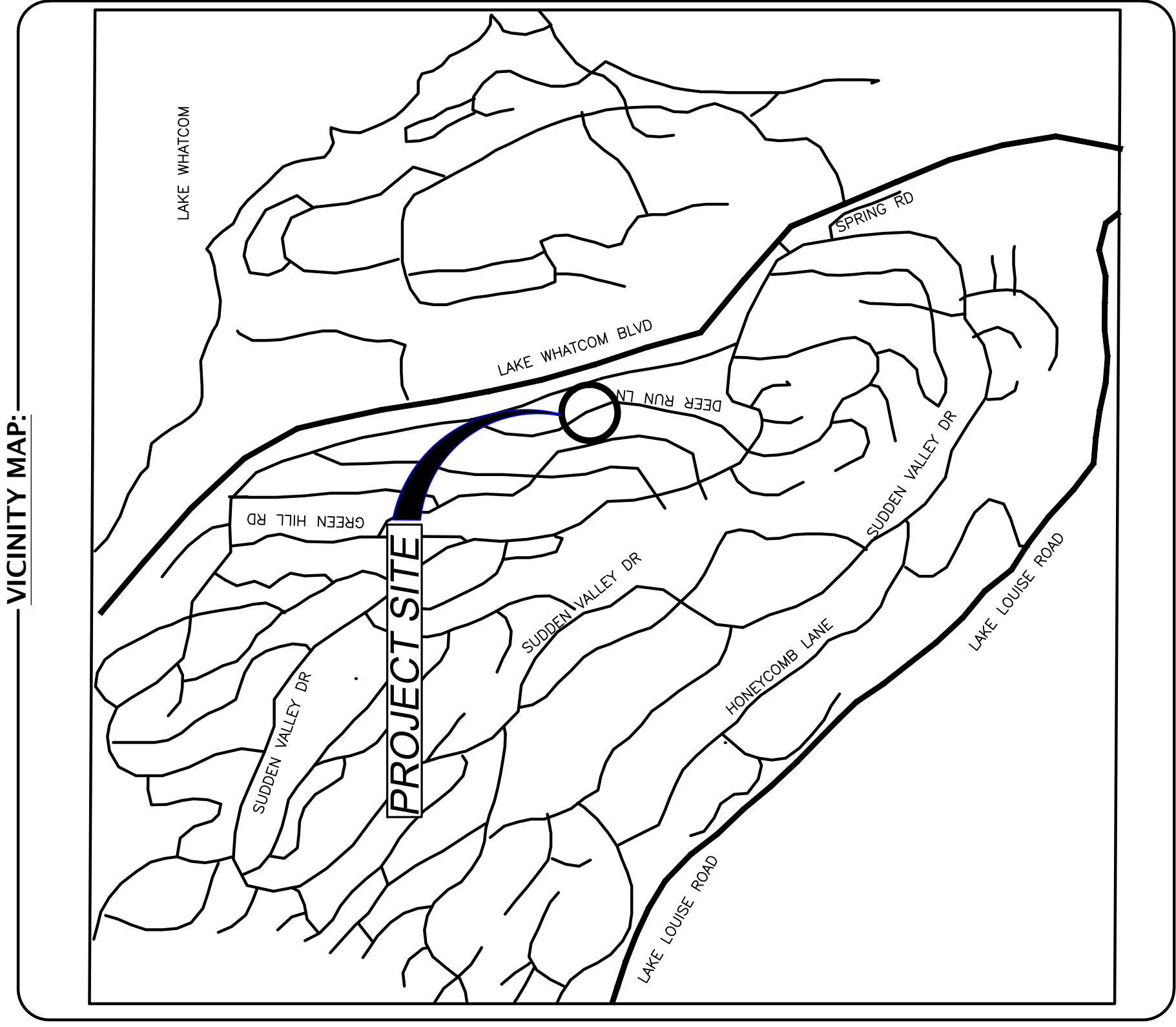
DEER RUN LANE

67 SQ FT

REVIEW APPROVAL
 REVIEW IS FOR GENERAL COMPLIANCE AND
 CONSISTENCY WITH APPLICABLE WHATCOM COUNTY
 CODES, REGULATIONS, AND/OR STANDARDS

**NO RESPONSIBILITY IS ASSUMED
 FOR CORRECTNESS OF DATA,
 DIMENSIONS, OR DETAILS**

DEPARTMENT OF PUBLIC WORKS-ENGINEERING SERVICES
 BY _____ DATE _____



3.12.2024

WHATCOM COUNTY, WASHINGTON
 SVCA ROAD MAINTENANCE 2024
 COVER SHEET

REV	DATE	BY	DESCRIPTION

PROJECT NUMBER:
23053

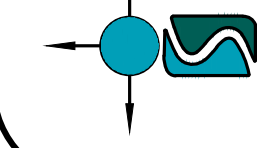
DESIGNED/DRAWN BY:
TKR

CHECKED BY:
SIG

ISSUE DATE:
3.12.2024

C1
 OFF: C7

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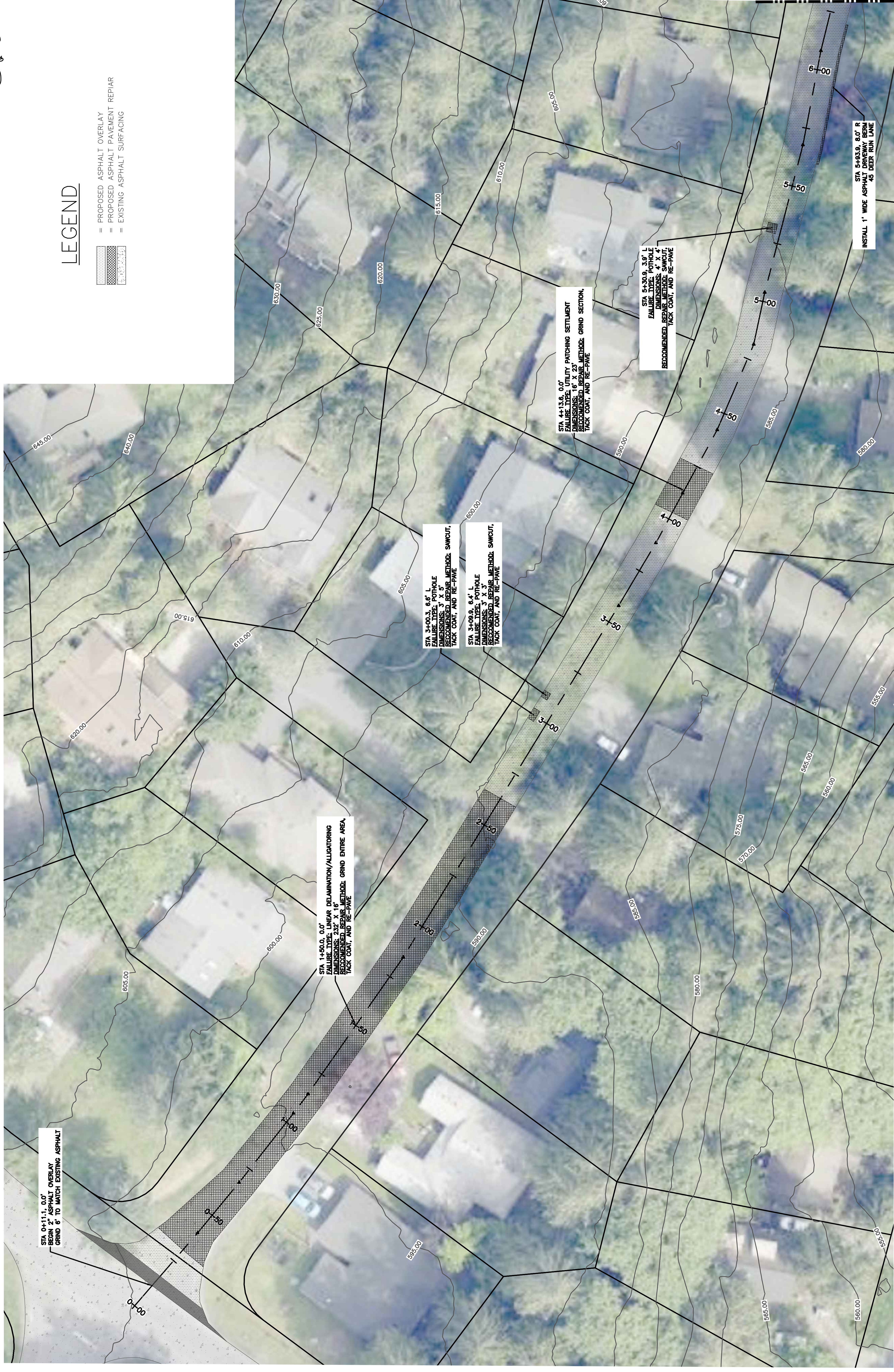
SUDDEN VALLEY ROADWAY MAINTENANCE 2024

DEER RUN LANE IMPROVEMENTS



LEGEND

- = PROPOSED ASPHALT OVERLAY
- = PROPOSED ASPHALT PAVEMENT REPAIR
- = EXISTING ASPHALT SURFACING



STA 0+11.1, 0+17
FAILURE TYPE: SPALLS, OVERLAY
DIMENSIONS: 2' X 2'
RECOMMENDED REPAIR METHOD: GRIND ENTIRE AREA,
TACK COAT, AND RE-PAVE

STA 1+40.0, 0+17
FAILURE TYPE: SPALLS, OVERLAY
DIMENSIONS: 3' X 4'
RECOMMENDED REPAIR METHOD: GRIND ENTIRE AREA,
TACK COAT, AND RE-PAVE

STA 2+00.0, 6' 8" I
FAILURE TYPE: POT HOLE
DIMENSIONS: 3' X 5'
RECOMMENDED REPAIR METHOD: SAWCUT,
TACK COAT, AND RE-PAVE

STA 3+09.9, 6' 4" I
FAILURE TYPE: POT HOLE
DIMENSIONS: 3' X 3'
RECOMMENDED REPAIR METHOD: SAWCUT,
TACK COAT, AND RE-PAVE

STA 4+13.8, 0+17
FAILURE TYPE: UTILITY PATCHING SETTLEMENT
DIMENSIONS: 1' 6" X 23'
RECOMMENDED REPAIR METHOD: GRIND SECTION,
TACK COAT, AND RE-PAVE

STA 5+30.9, 3' 8" I
FAILURE TYPE: POT HOLE
DIMENSIONS: 3' X 3'
RECOMMENDED REPAIR METHOD: SAWCUT,
TACK COAT, AND RE-PAVE

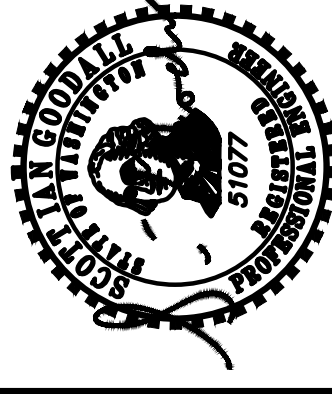
STA 5+43.9, 8' 0" R
FAILURE TYPE: SPALLS, OVERLAY
DIMENSIONS: 3' X 3'
RECOMMENDED REPAIR METHOD: GRIND ENTIRE AREA,
TACK COAT, AND RE-PAVE

MATCHLINE C3

SVCA ROAD MAINTENANCE 2024

DEER RUN LANE IMPROVEMENTS

WHATCOM COUNTY, WASHINGTON



3.12.2024

REV	DATE	BY	DESCRIPTION

PROJECT NUMBER: 23053
DESIGNED/DRAWN BY: TKR
CHECKED BY: SIG
ISSUE DATE: 3.12.2024

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OF: C7

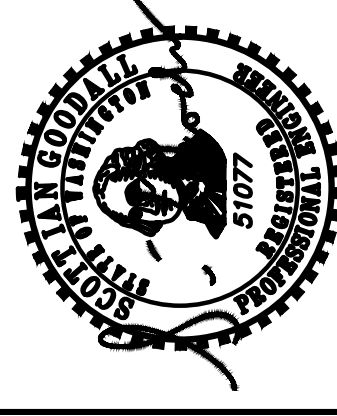
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SUDDEN VALLEY ROADWAY MAINTENANCE 2024

DEER RUN LANE IMPROVEMENTS



6226 BARETT ROAD, SUITE A103
560-389-8158 WWW.BOLD-IMPACT.COM



3.12.2024

SVCA ROAD MAINTENANCE 2024

DEER RUN LANE IMPROVEMENTS

SITE PLAN

WHATCOM COUNTY, WASHINGTON

REV	DATE	BY	DESCRIPTION

PROJECT NUMBER:
23053

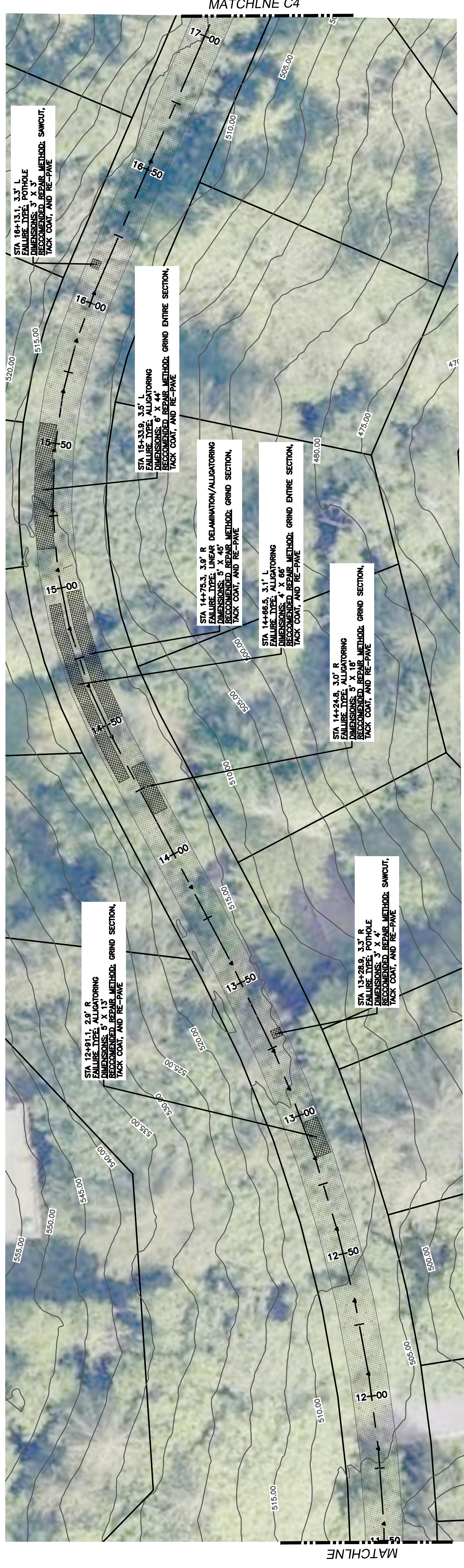
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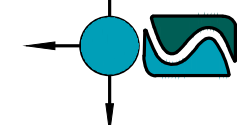
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CALL 2 BUSINESS DAYS BEFORE YOU DIG
1-800-424-5555
UTILITIES ARE KNOWN TO EXIST AND NOT ALL ARE SHOWN. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

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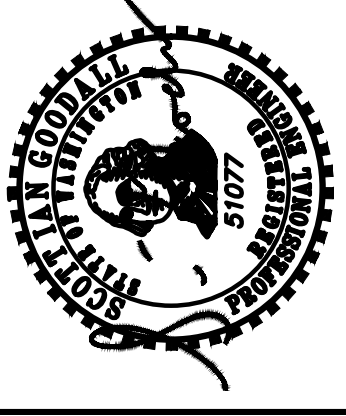


SUDDEN VALLEY ROADWAY MAINTENANCE 2024

DEER RUN LANE IMPROVEMENTS



5426 BARETT ROAD, SUITE A103
560-389-8158 WWW.BOLD-IMPACT.COM



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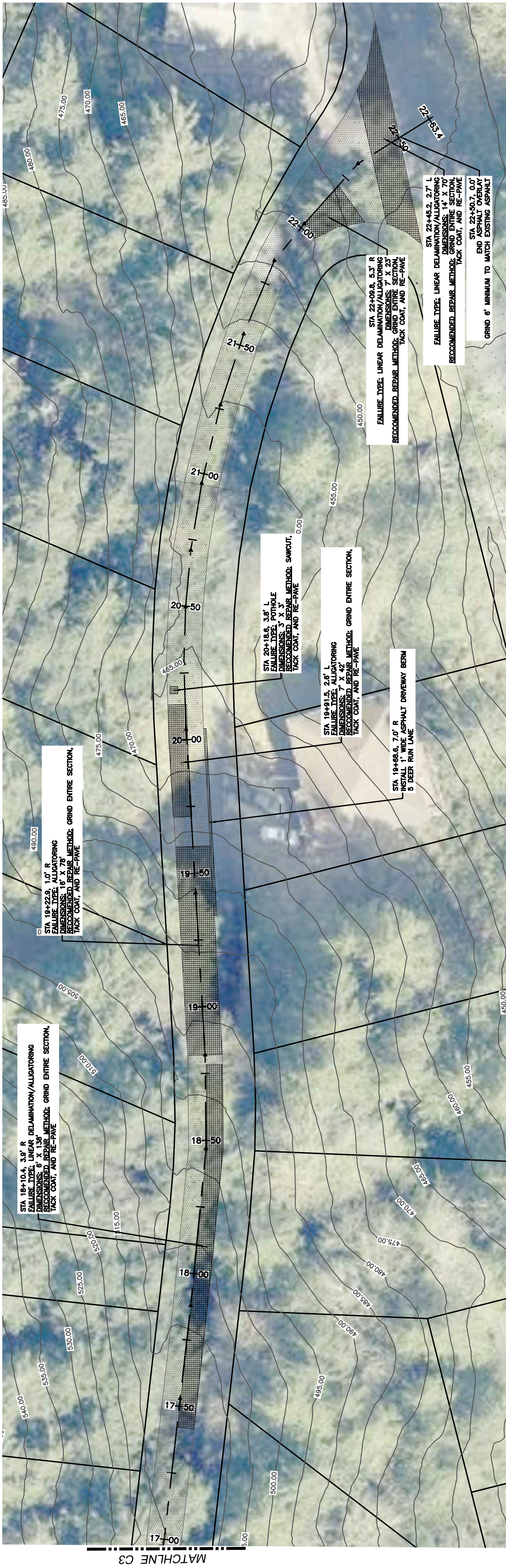
SVCA ROAD MAINTENANCE 2024

DEER RUN LANE IMPROVEMENTS

SITE PLAN

WHATCOM COUNTY, WASHINGTON

REV	DATE	BY	DESCRIPTION



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DESIGNED/DRAWN BY: TKR

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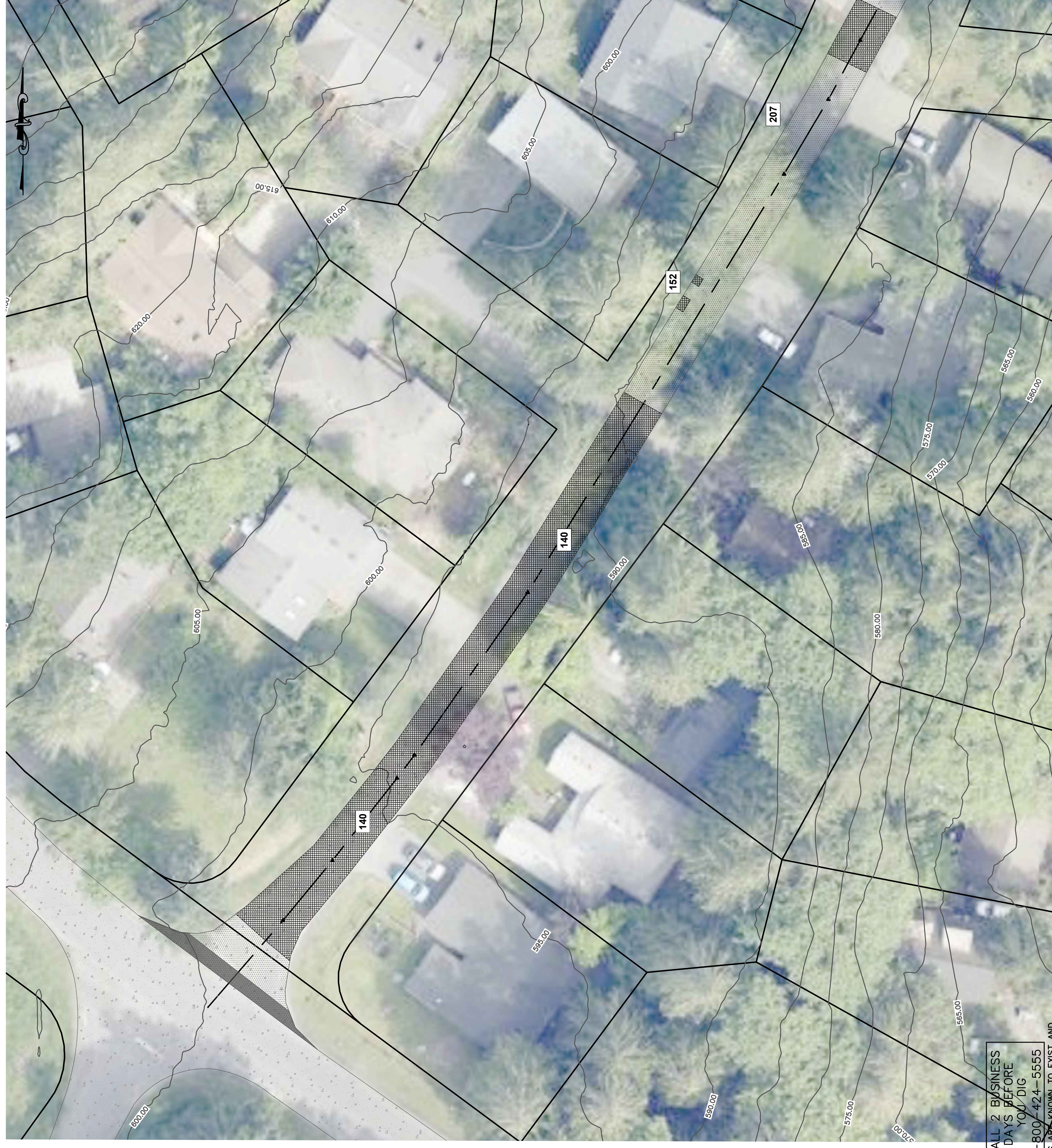
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SUDDEN VALLEY ROADWAY MAINTENANCE 2024
DEER RUN LANE IMPROVEMENTS



CALL 2 BUSINESS
 DAYS BEFORE
 YOU DIG
 1-800-424-5555

UTILITIES ARE KNOWN TO EXIST AND NOT ALL ARE SHOWN. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

CONSTRUCTION SCHEDULE & CONTRACTOR RESPONSIBILITY:

- THE FOLLOWING IS A GENERAL BASELINE AND SCHEDULE FOR INSTALLING EROSION CONTROL BMPs. THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE A GENERAL GUIDE AND THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND MODIFICATION OF ALL EROSION CONTROL MEASURES. SPECIALIST SHALL DIRECT APPROVE INSTALLATION, MAINTENANCE AND MODIFICATION OF EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES (BMP).
1. IDENTIFY AND FLAG CLEARING LIMITS.
 2. INSTALL HIGH VISIBILITY FENCING PER TREE RETENTION PLAN. PRESERVE SURROUNDING NATIVE VEGETATION.
 3. INSTALL TEMPORARY CONSTRUCTION ENTRANCES.
 4. INSTALL PERIMETER BMP'S (BRUSH BARRIER, WATTLE, &/OR SILT FENCE).
 5. PERFORM OVERALL CLEARING AND GRADING
 6. DEPENDING ON WEATHER CONDITIONS, EROSION ISSUES MAY ARISE. INSPECT AND MAINTAIN INSTALLED ESC ITEMS AND RECOMMENDATIONS. THE POSSIBLE NEED FOR ADDITIONAL ESC MEASURES. CONTACT THE ENGINEER FOR ESC RECOMMENDATIONS.
 7. MONITOR WEATHER AND ADD ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED. WHETHER SHOWN ON THIS PLAN OR NOT. ADDITIONAL BMP MATERIALS SHALL BE KEPT ON HAND AT ALL TIMES (SUCH AS GRAVEL, STRAIN, PLASTIC OR EQUIVALENT).
 8. DISCHARGE OF STORMWATER FROM THE SITE IS NOT EXPECTED, HOWEVER, IN THE EVENT OF A DISCHARGE, ALL MONITORING AND PERMIT REQUIREMENTS SHALL BE MET AS SOON AS REASONABLY POSSIBLE.
 9. WHEN GRADING AND CONSTRUCTION ARE COMPLETE, SEED AND/OR PLANT NATIVE SPECIES TO STABILIZE ALL EXPOSED SOILS AND REMOVE TEMPORARY BMPs DEEMED NO LONGER NECESSARY.

EROSION CONTROL NOTES

1. APPROVAL OF THE EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTIONS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD. CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
4. THE ESC FACILITIES SHOWN ON THE PLANS MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
6. THE ESC FACILITIES ON ACTIVE CONSTRUCTION SITES SHALL BE INSPECTED DAILY BY APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTION.
7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A MAJOR STORM EVENT.
8. AT NO TIME SHALL MORE THAN 6 INCHES OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN SUMPS, ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLOW SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM. TRASH PUMPS SHALL PUMP TO VEGETATED AREAS ON SITE.
9. MAINTAIN THE EXISTING GRAVEL ACCESS. REPLACE OR RESTORE AS NECESSARY. TRACKING OF DEBRIS ONTO COUNTY ROADS IS PROHIBITED.
10. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL BMPs, INCLUDING SEDIMENT TRAPS, MAY BE REQUIRED. REFER TO THE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, 2012 EDITION.
11. NETS, AND BLANKETS (BMP C122) OR PLASTIC COVERING (BMP C123) MAY BE USED IN LIEU OF TEMPORARY MULCHING.
12. AN IMPRES CONSTRUCTION STORMWATER GENERAL PERMIT FROM WASHINGTON STATE DEPARTMENT OF ECOLOGY MUST BE OBTAINED FOR THIS PROJECT SINCE CONSTRUCTION ACTIVITIES WILL DISTURB MORE THAN ONE ACRE OF SOIL.
13. SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS BETWEEN MAY 1 AND NOVEMBER 30. ALL EXPOSED SOILS SHALL BE COVERED WITH MULCH, NETS/BLANKETS, ESC SEED MIX AND/OR PLANTINGS WITHIN 48 HOURS OF INITIAL CLEARING. EXCAVATION PILES SHALL BE COVERED WITH SECURED PLASTIC COVERING (BMP C123) WHEN NOT BEING WORKED.
14. CONSTRUCTION TRAFFIC THAT WILL LEAVE THE SITE SHALL REMAIN ON PAVED OR STABILIZED SURFACES TO THE MAXIMUM EXTENT. OTHER VEHICLES THAT WILL REMAIN ON SITE, SUCH AS EXCAVATORS, MAY WORK WITHIN AREAS OF EXPOSED SOIL.

TESC LEGEND:

- 152** BMP C152 SAWCUTTING AND SURFACING POLLUTION PREVENTION
- 140** BMP C20 DUST CONTROL
- 207** BMP C207 CHECK DAMS

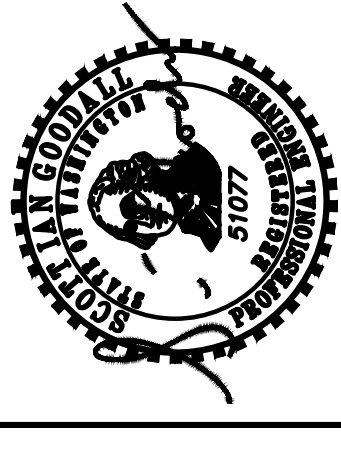
REV	DATE	BY	DESCRIPTION

PROJECT NUMBER: 23053
 DESIGNED/DRAWN BY: SIG
 CHECKED BY: SIG
 ISSUE DATE: 3.12.2024
 C5
 OFF: C7

REVIEW APPROVAL
 REVIEW IS FOR GENERAL COMPLIANCE AND CONSISTENCY WITH APPLICABLE WHATCOM COUNTY CODES, REGULATIONS, AND/OR STANDARDS

NO RESPONSIBILITY IS ASSUMED FOR CORRECTNESS OF DATA, DIMENSIONS, OR DETAILS

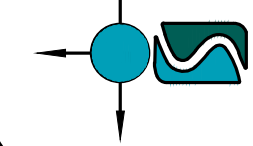
DEPARTMENT OF PUBLIC WORKS-ENGINEERING SERVICES
 BY: _____ DATE: _____



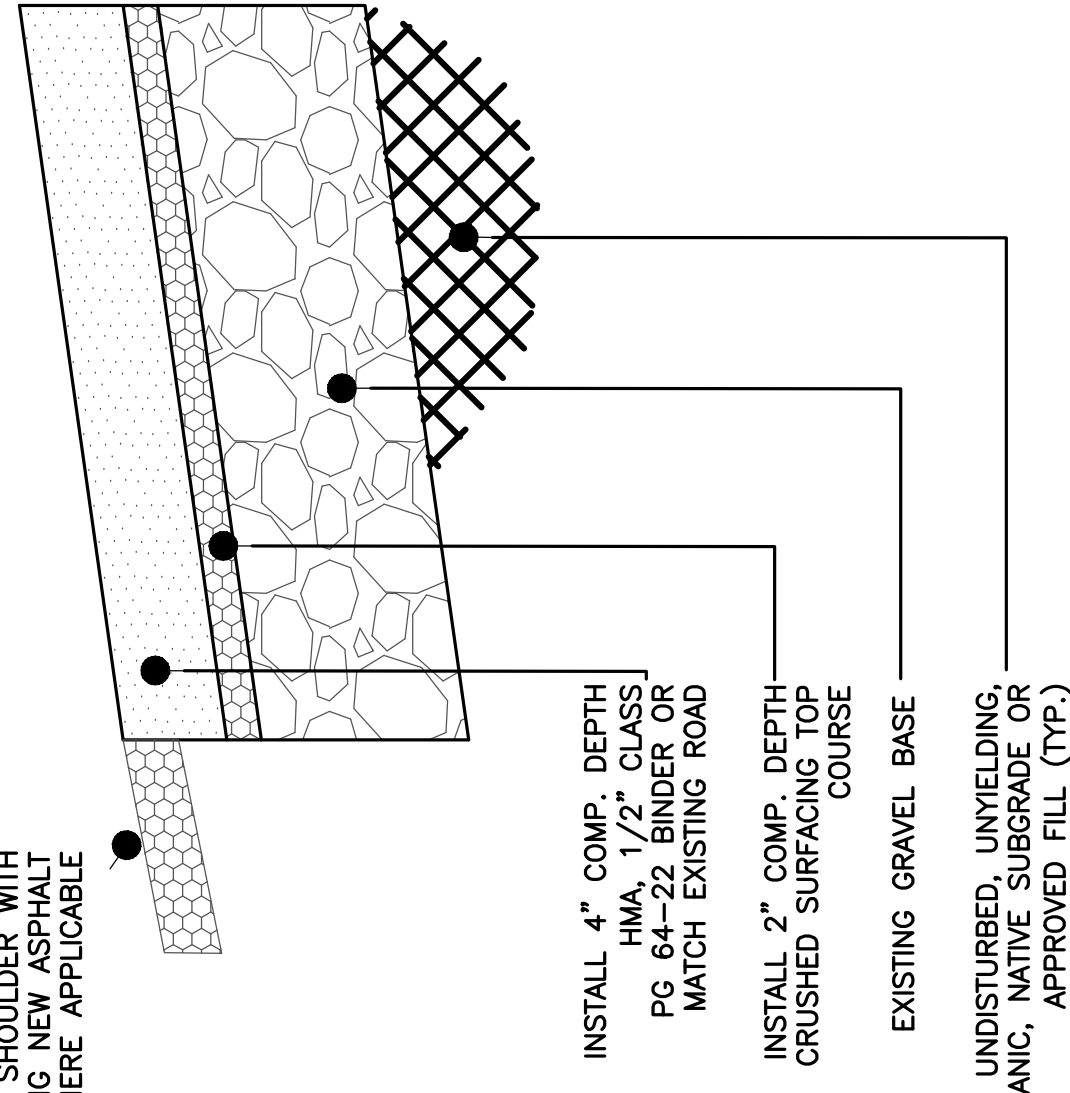
3.12.2024

WHATCOM COUNTY, WASHINGTON
 TESC
 DEER RUN LANE IMPROVEMENTS
 SVCA ROAD MAINTENANCE 2024

SUDDEN VALLEY NOA'S - DEER RUN LANE



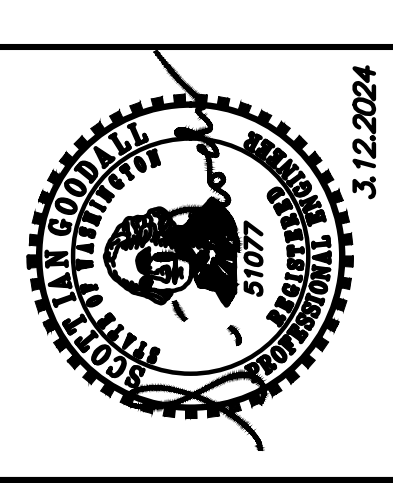
CONTRACTOR TO INSTALL GRAVEL SHOULDER WITH CSTC ALONG NEW ASPHALT EDGE WHERE APPLICABLE



TYPICAL PAVEMENT REPAIR SECTION
NOT TO SCALE

GENERAL NOTES

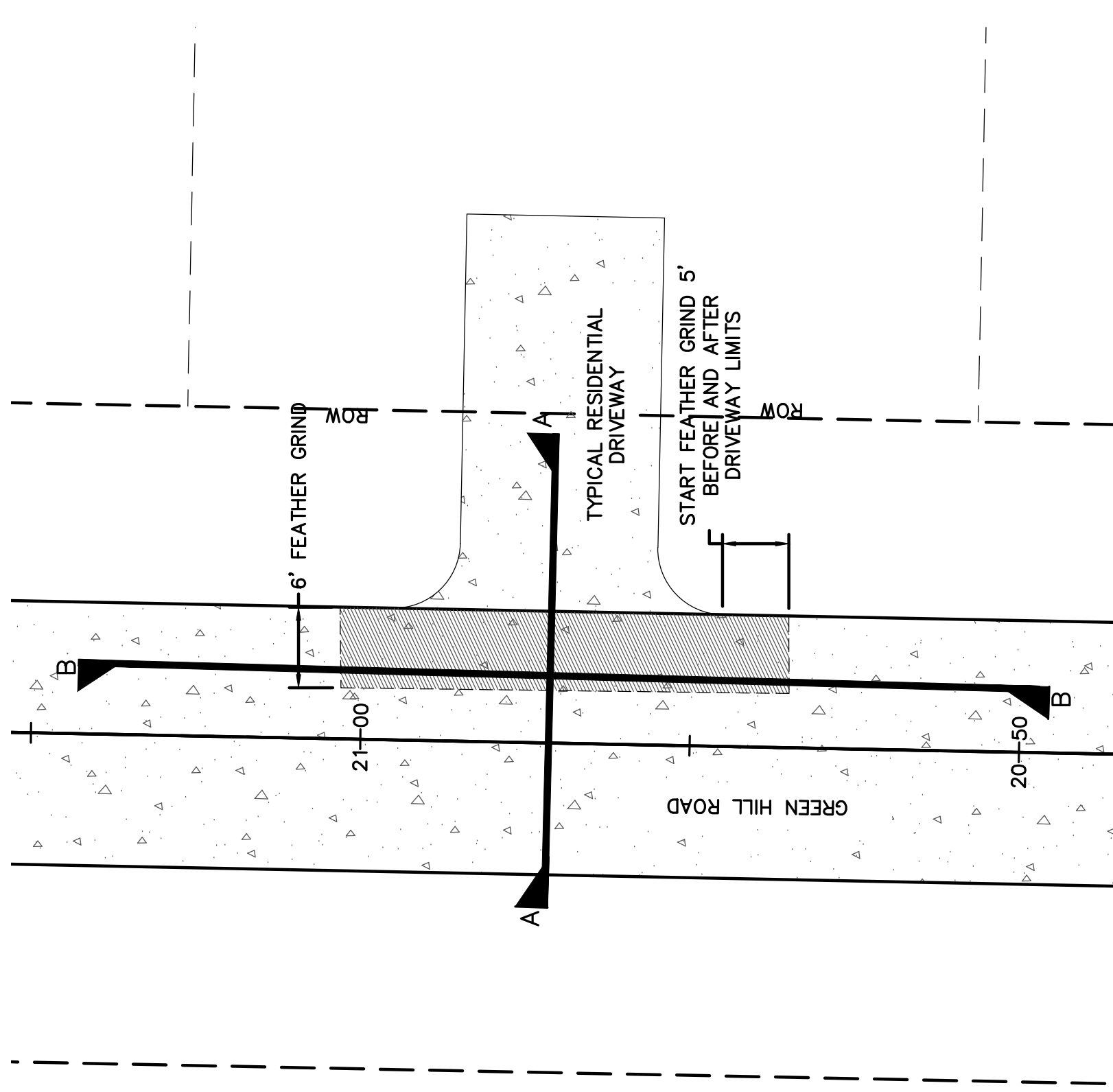
1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT WSDOT/APWA STANDARD SPECIFICATIONS.
2. NORMAL WORKING HOURS ARE 8:00 AM. TO 7:00 PM., MONDAY THROUGH FRIDAY. WORK DURING HOLIDAYS, WEEKENDS, AND OUTSIDE THE NORMAL WORK HOURS REQUIRES PRIOR ARRANGEMENTS AND APPROVAL.
3. THE CONTRACTOR SHALL CONTACT UTILITY LOCATION SERVICE 48 HOURS PRIOR TO STARTING WORK AT (800) 424-5555 OR 811.
4. A COPY OF THE DRAWINGS MUST BE ON THE JOBS SITE WHENEVER WORK IS IN PROCESS.
5. ALL TESTING REQUIRED FOR THE WORK SHALL BE THE RESPONSIBILITY OF THE OWNER.
6. THE CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISTURBED BY THE WORK IMMEDIATELY AFTER CONSTRUCTION. THE CONTRACTOR SHALL NOT LEAVE ANY PART OF THE ROAD USED BY OTHERS UN-PASSABLE WITHOUT NOTIFICATIONS AND AGREEMENT OF OTHER USERS.
7. ALL CUT AND FILL SLOPES SHALL BE MULCHED AND SEEDED FOR EROSION CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SLOPE EROSION UNTIL VEGETATION IS FIRMLY ESTABLISHED.
8. CONTRACTOR SHALL SWEEP AND REMOVE ALL DEBRIS TRACKED ONTO EXISTING ROADS DURING ALL PHASES OF CONSTRUCTION.
9. THE CONTRACTOR SHALL INFORM THE ENGINEER OF RECORD OR REPRESENTATIVE AND OBTAIN APPROVAL FOR ANY PROPOSED CHANGES IN PLANS PRIOR TO IMPLEMENT.
10. TRAFFIC CONTROL IS TO BE MAINTAINED IN ACCORDANCE WITH WSDOT/APWA STANDARD SPECIFICATIONS.



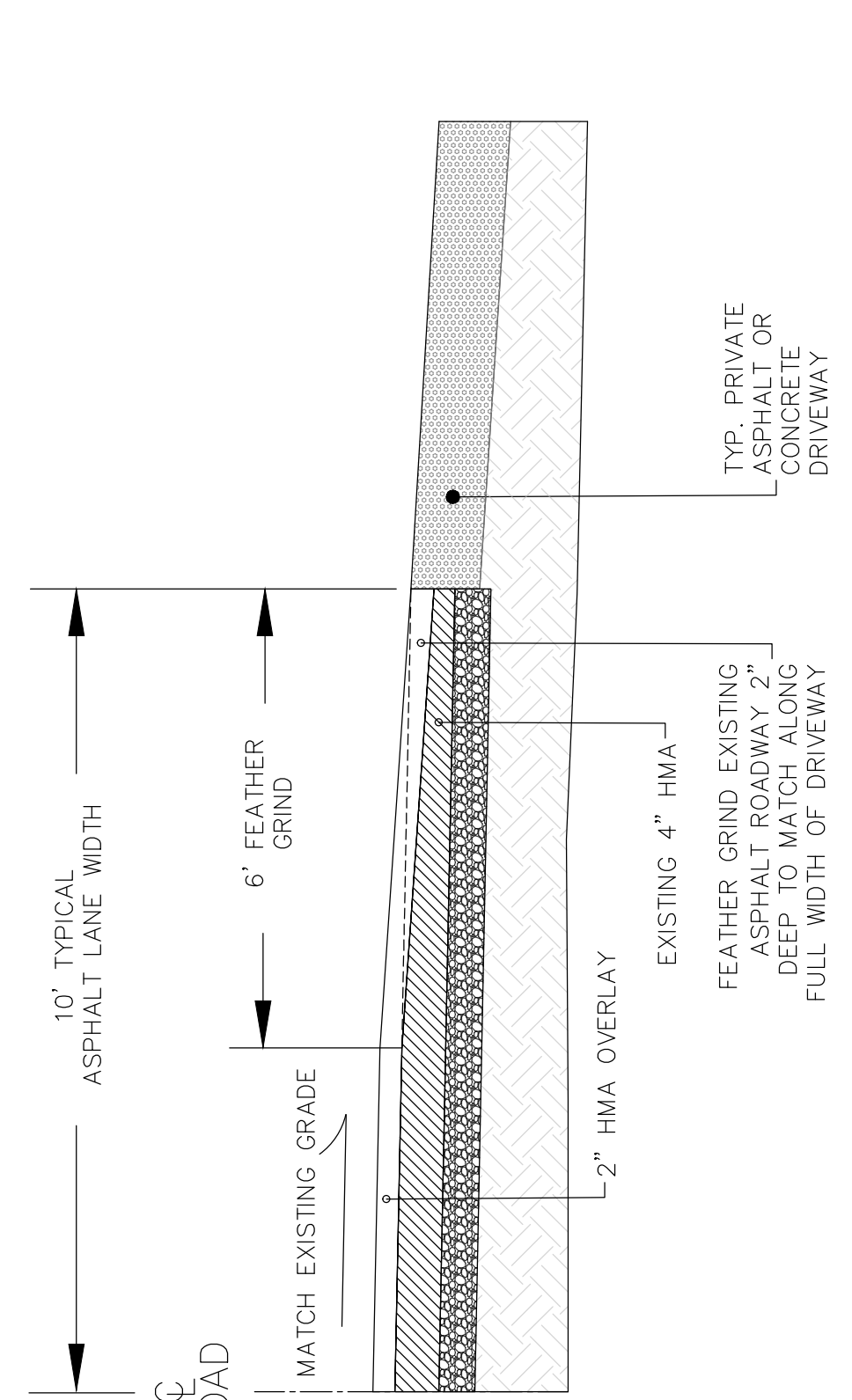
SUDDEN VALLEY NOA'S - DEER RUN LANE
DETAILS
WHATCOM COUNTY, WASHINGTON

REV	DATE	BY	DESCRIPTION

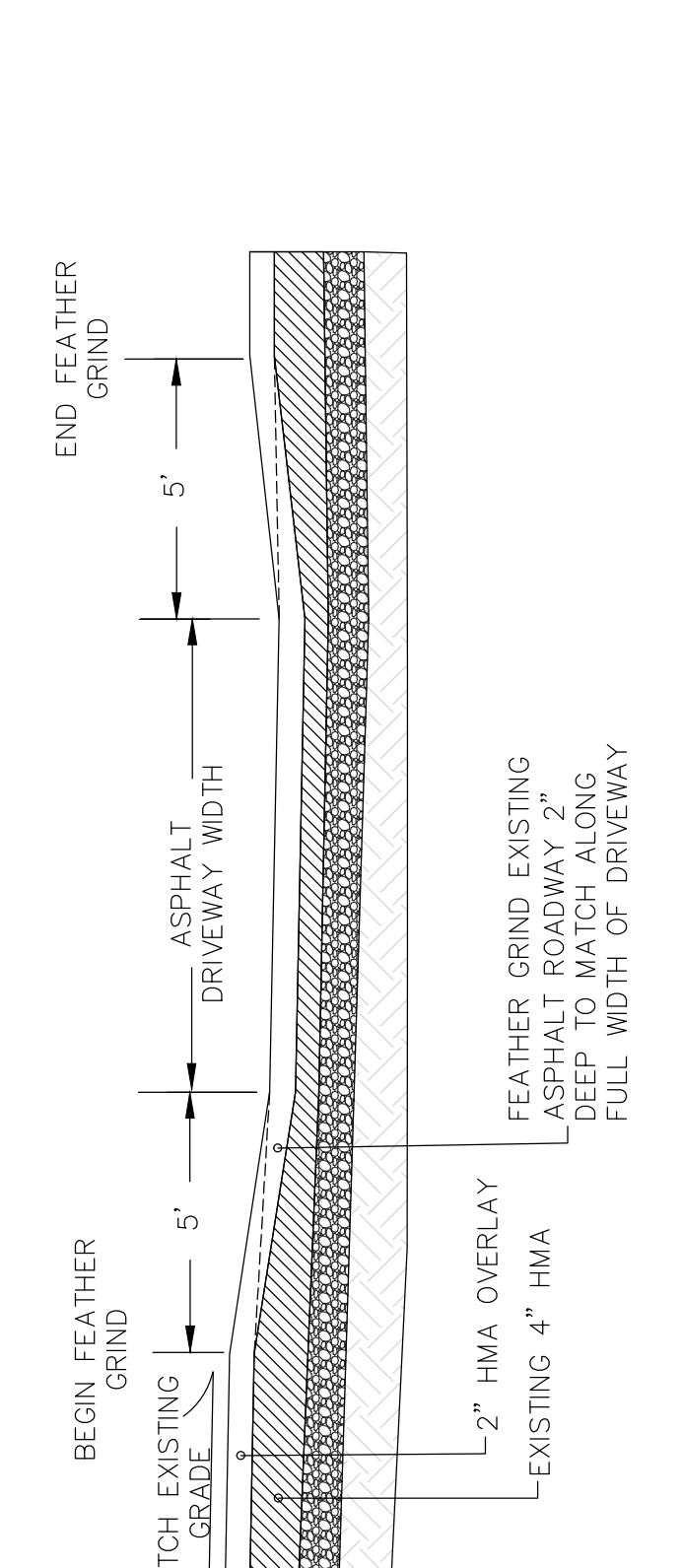
PROJECT NUMBER: 230553
DESIGNED/DRAWN BY: TKR
CHECKED BY: SIG
ISSUE DATE: 3.12.2024
C7
OF: C7



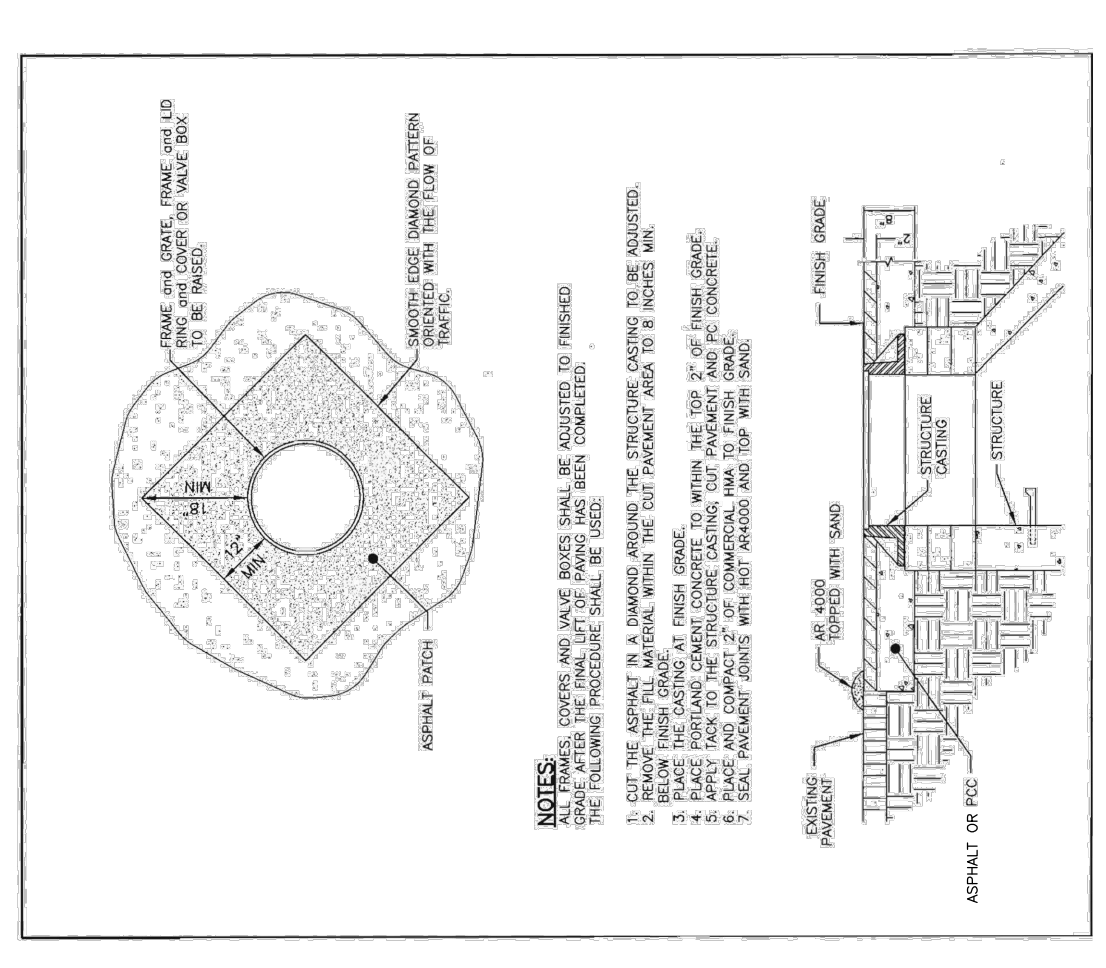
ASPHALT OVERLAY FEATHER GRIND AT DRIVEWAYS PLAN VIEW
1"=10'



ASPHALT OVERLAY FEATHER GRIND AT DRIVEWAYS SECTION A-A
NOT TO SCALE



ASPHALT OVERLAY FEATHER GRIND AT DRIVEWAYS SECTION B-B
NOT TO SCALE



NOTES:
1. ALL EXISTING CONCRETE AND MAJOR BRACKS SHALL BE REMOVED TO FINISH.
2. ALL EXISTING CONCRETE SHALL BE REMOVED TO FINISH.
3. ALL EXISTING CONCRETE SHALL BE REMOVED TO FINISH.
4. ALL EXISTING CONCRETE SHALL BE REMOVED TO FINISH.
5. ALL EXISTING CONCRETE SHALL BE REMOVED TO FINISH.
6. ALL EXISTING CONCRETE SHALL BE REMOVED TO FINISH.
7. ALL EXISTING CONCRETE SHALL BE REMOVED TO FINISH.

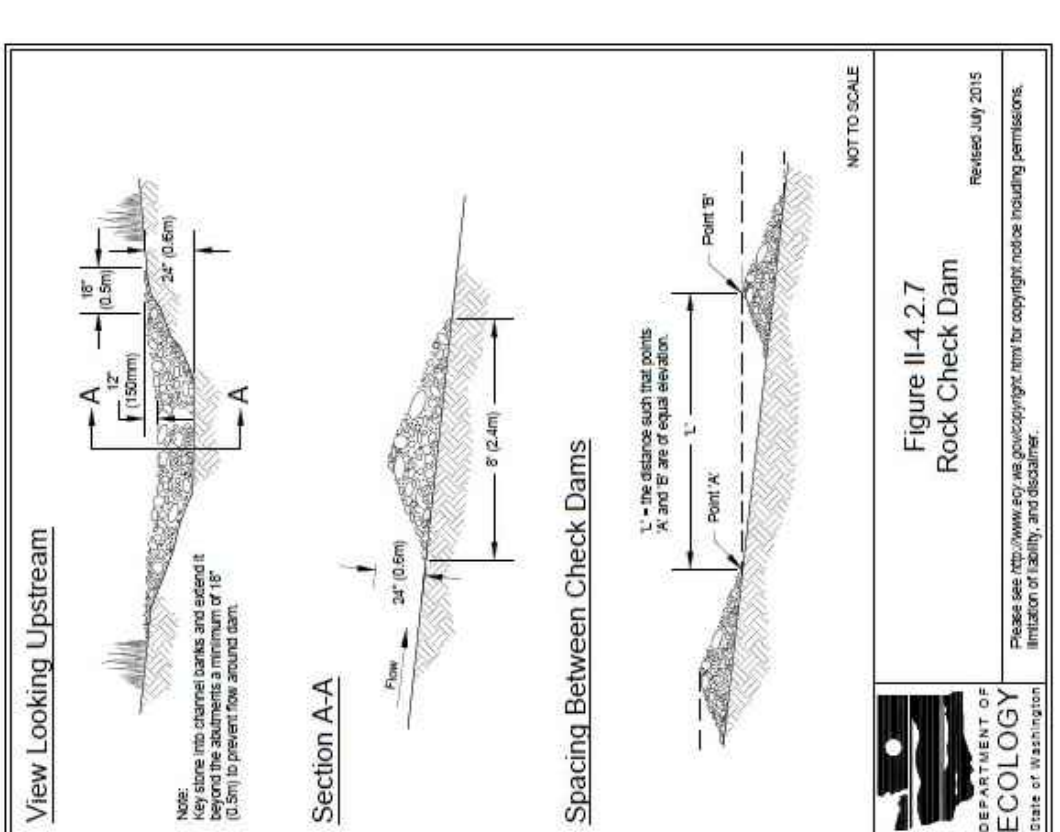


Figure II-4.2.7
Rock Check Dam
NOT TO SCALE
Revised July 2015
Please see the Washington Department of Ecology website for additional information.

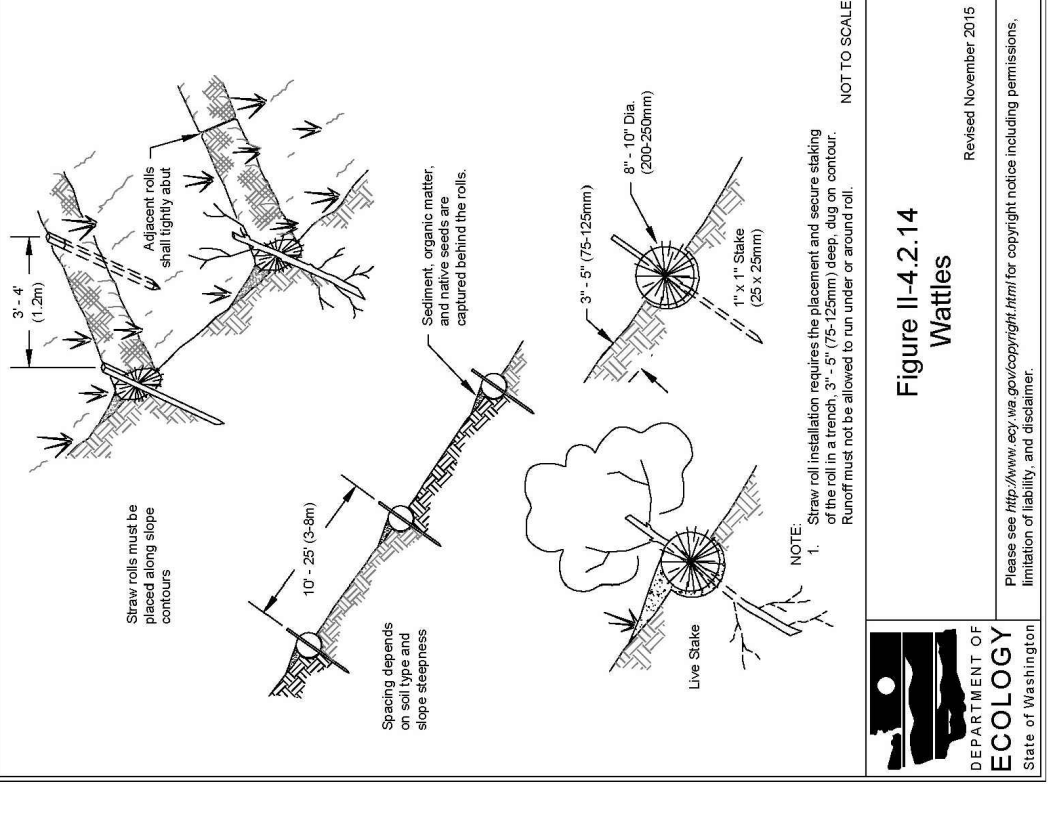
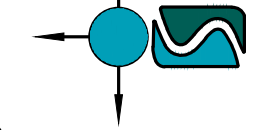


Figure II-4.2.14
Wattles
NOT TO SCALE
Revised November 2010
Please see the Washington Department of Ecology website for additional information.

DOE NOTES

\\srs01\projects\230553\SVA\2024\Chart and Road NOA\Wood LP\Deer Run Lane LP 1.21.2024.dwg Nov 13, 2024--11:16am



BEAVER CREEK BANK IMPROVEMENTS

CONTACT INFORMATION:

SURVEYOR
 POWERTEK SURVEYING
 SCOTT GOODALL, P.E.
 5426 BARRETT ROAD
 SUITE A103
 FERNDALE, WA 98248
 (360) 746-8801
 JSC@POWERTEK.NET
 SCOTT@BOLD-IMPACT.COM

CLIENT
 PINW SERVICES, INC.
 PO BOX 30498
 BELLINGHAM, WA 98226
 425-364-9614

LEGEND

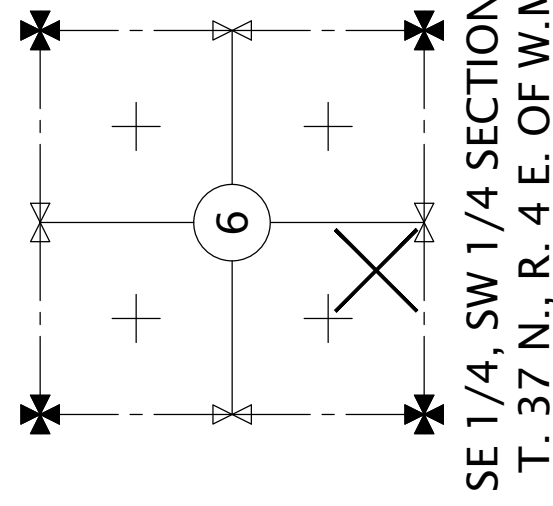
- FOUND BEAR & CAP
- SET NAIL & SHINKER
- SET HUB & TACK
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊙ EXISTING SANITARY SEWER CLEAN-OUT
- ⊙ EXISTING STORM DRAINAGE CATCH-BASIN
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATERLINE VALVE
- ⊙ EXISTING WATER METER SERVICE
- ⊙ EXISTING UTILITY JUNCTION BOX
- 12"★ TREE DIAMETER
- ★ EXISTING TREE (CONIFER)
- ★ EXISTING TREE (DECIDUOUS)

SHEET INDEX:

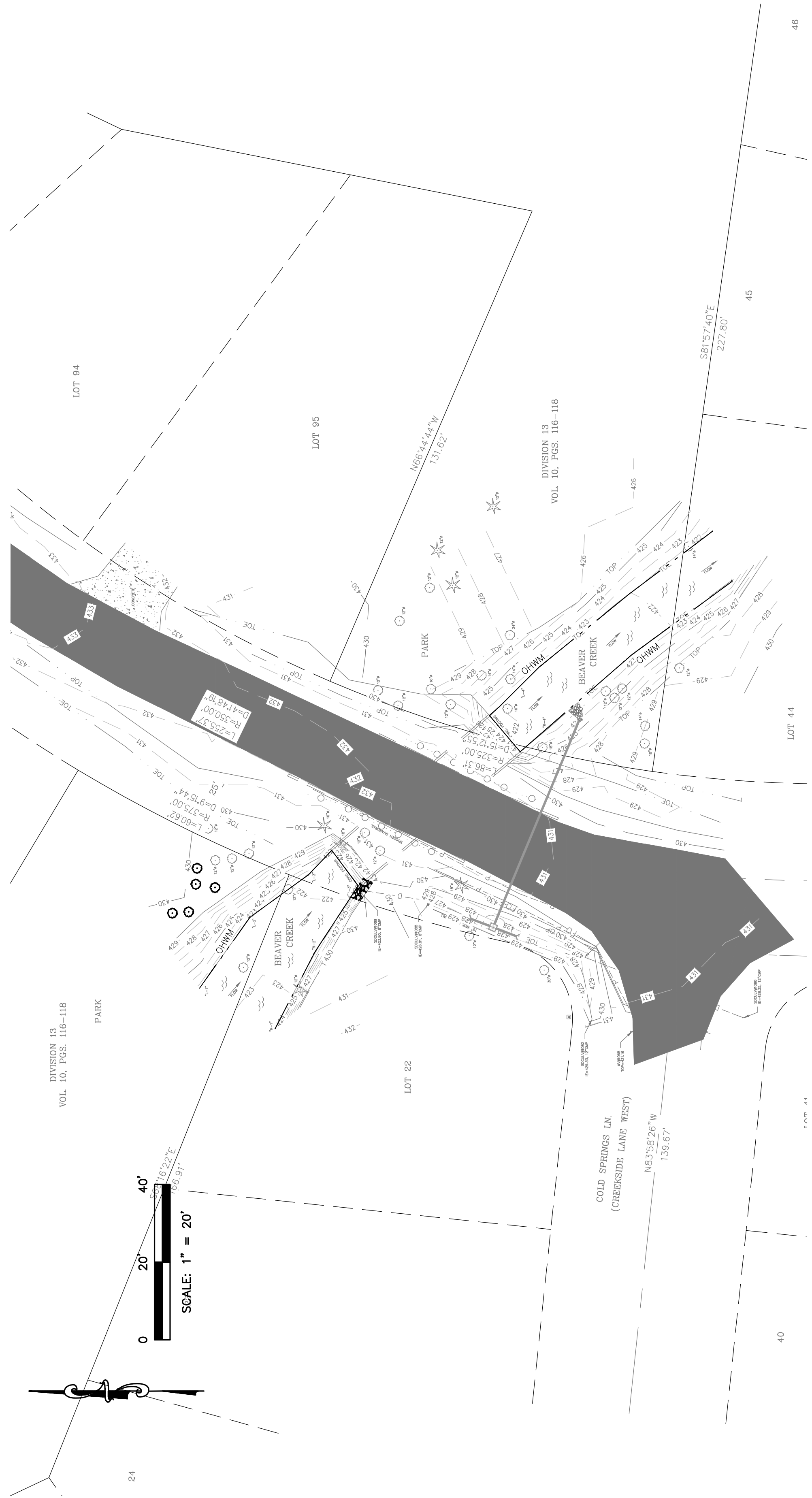
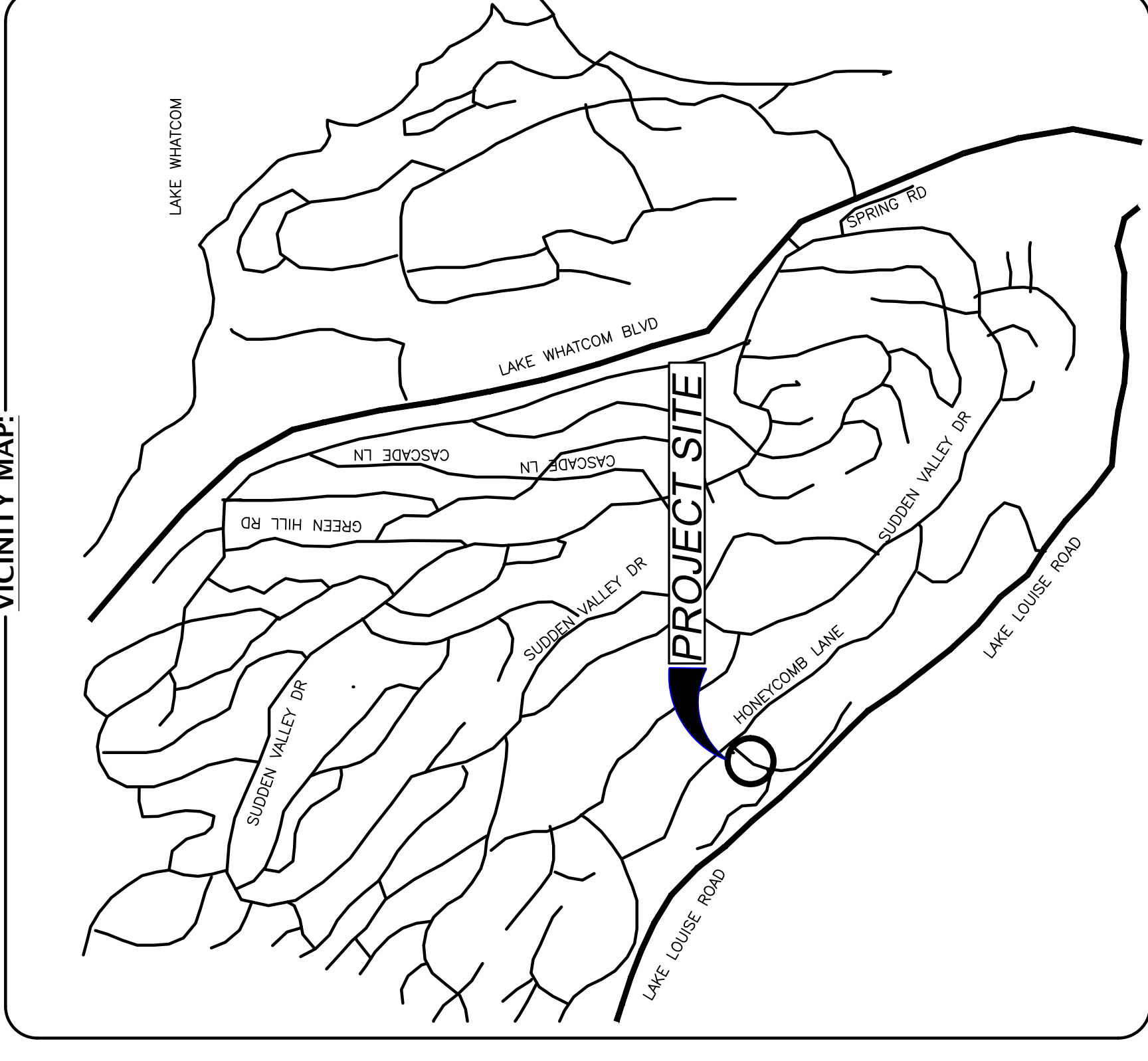
- C1 COVER SHEET & EXISTING CONDITIONS
- C2 STREAM BANK REPAIRS SITE PLAN
- C3 STREAM BANK REPAIRS TESCP
- C4 STREAM BANK REPAIRS SWPPP
- C5 STREAM BANK REPAIRS DETAILS

SURVEY NOTES:

- 1.) THIS SURVEY WAS PREPARED IN ACCORDANCE WITH WAC 332-130-145 IN OCTOBER 2022 AT THE REQUEST OF IMPACT DESIGN.
- 2.) FIELD SURVEY PERFORMED WITH TRIMBLE RS3 GNSS RECEIVER AND LEICA TC10+ ROBOTIC TOTAL STATION AND HEIGHTS OR EXCEEDS THE STANDARDS SET FORTH WITHIN WAC 332-130-090.
- 3.) HORIZONTAL DATUM: WASHINGTON PLANE COORDINATE SYSTEM, NORTH ZONE - NAD83 (2011). COORDINATES DERIVED FROM GNSS RTN (WGSN). INVERSE OF P-TEK#201 TO P-TEK#203 BEARING S54°04'27"W A DISTANCE OF 374.69'.
- 4.) P-TEK#201
 N=630181.3823
 E=127451.5661
 P-TEK#203
 N=629841.0218
 E=1274521.4608
 VERTICAL DATUM: NAVD88
 P-TEK#10
 N=631115.19
 E=127451.72
 P-TEK#1235 (WRS #75.42)
 N=629925.927
 E=127452.42
 EL.=432.08
- 5.) THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS, CONDITIONS OR FEATURES THAT MAY EXIST THAT ARE UNDETECTABLE AND/OR NOT VISIBLE.
- 6.) POWERTEK SURVEYING ASSUMES NO LIABILITY FOR ANY SUBSURFACE CONDITIONS OR FEATURES THAT MAY EXIST THAT ARE UNDETECTABLE AND/OR NOT VISIBLE.
- 7.) CONTOUR INTERVALS ARE SHOWN AT 1 FOOT AND ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY AND MEET OR EXCEED NATIONAL MAPPING STANDARDS UTILIZING ELECTRONIC DATA COLLECTION.
- 8.) THE TOPOGRAPHIC ELEMENTS SHOWN ON THIS MAP ARE INTENDED TO BE USED TO DELINEATE OCCUPANCY, ENCROACHMENTS AND/OR ABOVE GROUND APPURTENANCES AND/OR UTILITY PAINT MARKS PER WASHINGTON STATE ONE-CALL UNDERGROUND LOCATES (811).
- 9.) OCCUPANCY INDICATORS AND EXISTING FENCE LINE NOTE: THIS SURVEY MAY DEPICT EXISTING FENCE LINES AND/OR ENCROACHMENTS IN ACCORDANCE WITH WAC CH 332.130. THESE OCCUPANCY INDICATORS MAY INDICATE A POTENTIAL FOR CLAIMS OF OCCUPANCY AND SHOULD BE USED BY OWNERS AND/OR ADJACENT PARTIES AT THE LEGAL RESOLUTION OF OWNERSHIP BASED UPON UNWRITTEN TITLE CLAIMS HAS NOT BEEN RESOLVED BY THIS SURVEY.
- 10.) ORDINARY HIGH WATER MARK DELINEATED BY SATURNIA WATERSHED SCIENCES ON OCTOBER 16, 2022, AND FIELD LOCATED BY POWERTEK SURVEYING ON OCTOBER 18, 2022.



VICINITY MAP:



EXISTING CONDITIONS



5426 BARRETT ROAD, SUITE A103
 FERNDALE, WA 98248
 (360) 746-8801
 JSC@POWERTEK.NET
 SCOTT@BOLD-IMPACT.COM



05.05.23

BEAVER CREEK BANK IMPROVEMENTS COVER SHEET

SUDDEN VALLEY
 WHATCOM COUNTY, WASHINGTON

REV	DATE	BY	DESCRIPTION

PROJECT NUMBER: 22068
 DESIGNED/DRAWN BY: TKR
 CHECKED BY: SIG
 ISSUE DATE: 05.05.23

C1
 OF: C5

BEAVER CREEK BANK IMPROVEMENTS
SITE PLAN AND PROFILE
 SUDDEN VALLEY
 WHATCOM COUNTY, WASHINGTON

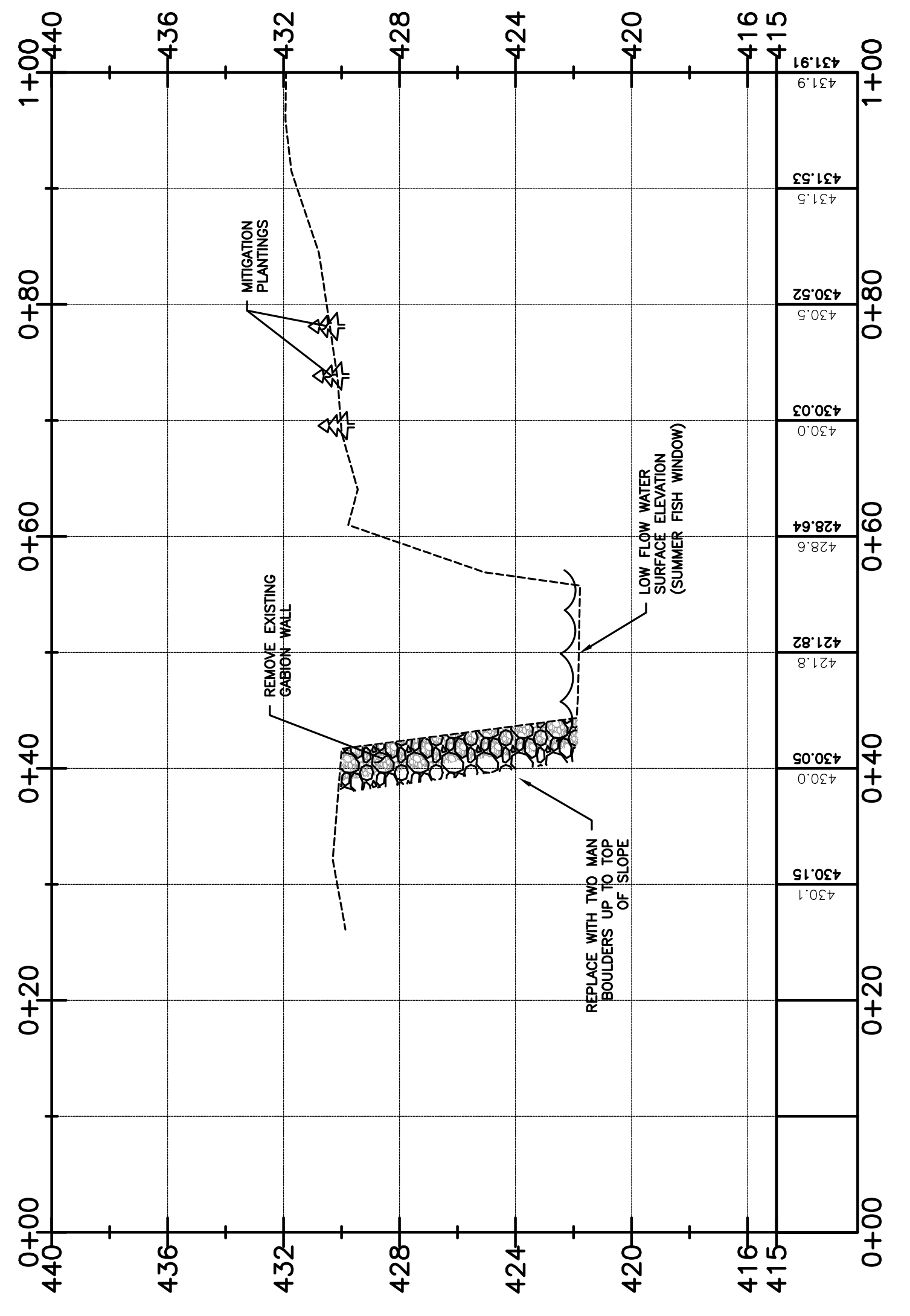
REV	DATE	BY	DESCRIPTION

05.05.2023

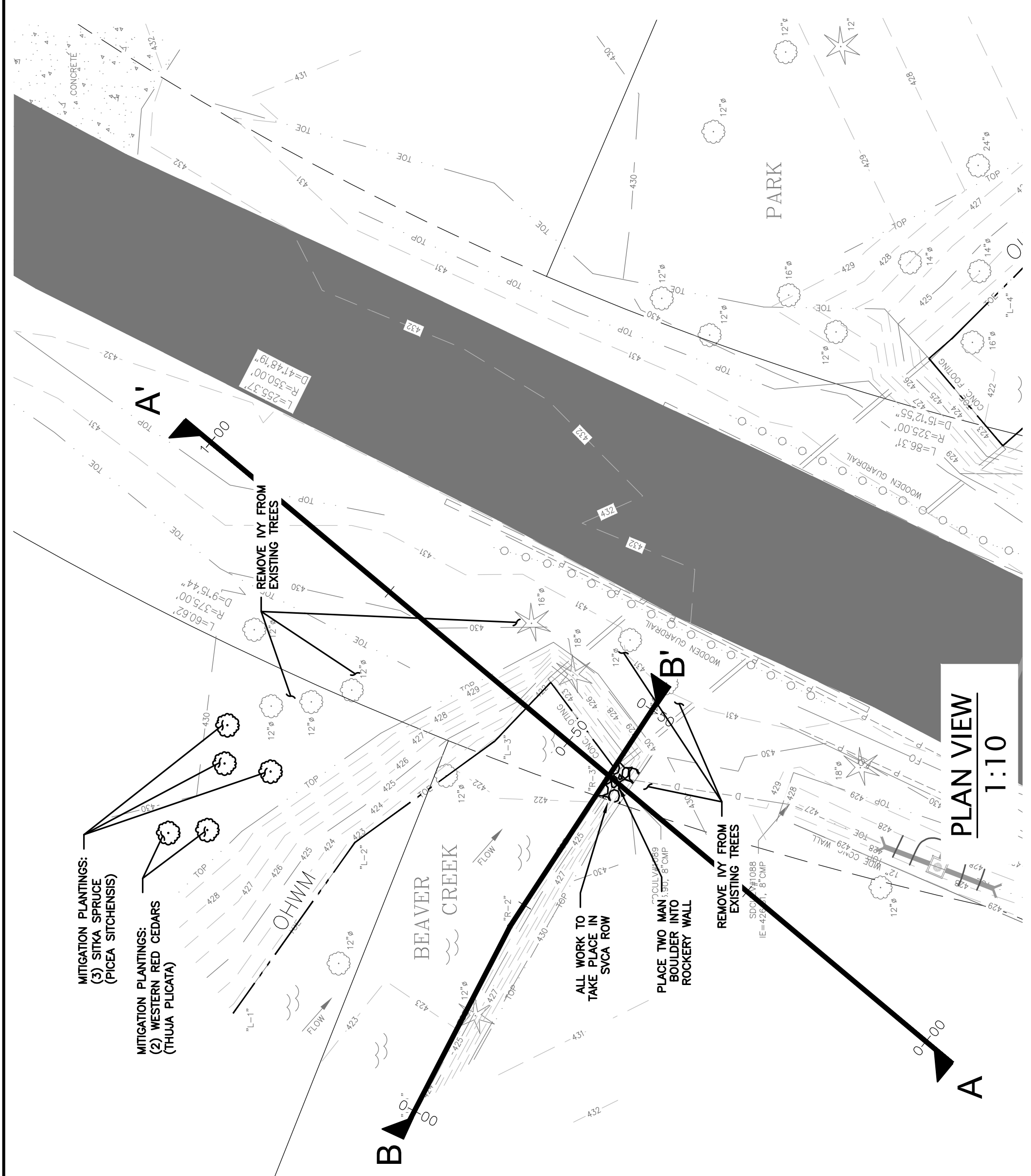


CALL 2 BUSINESS DAYS BEFORE YOU DIG
 1-800-424-5555
 UTILITIES ARE KNOWN TO EXIST AND NOT ALL ARE SHOWN. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

ALIGNMENT B-B'
 1:10



SECTION A-A'
 1:10



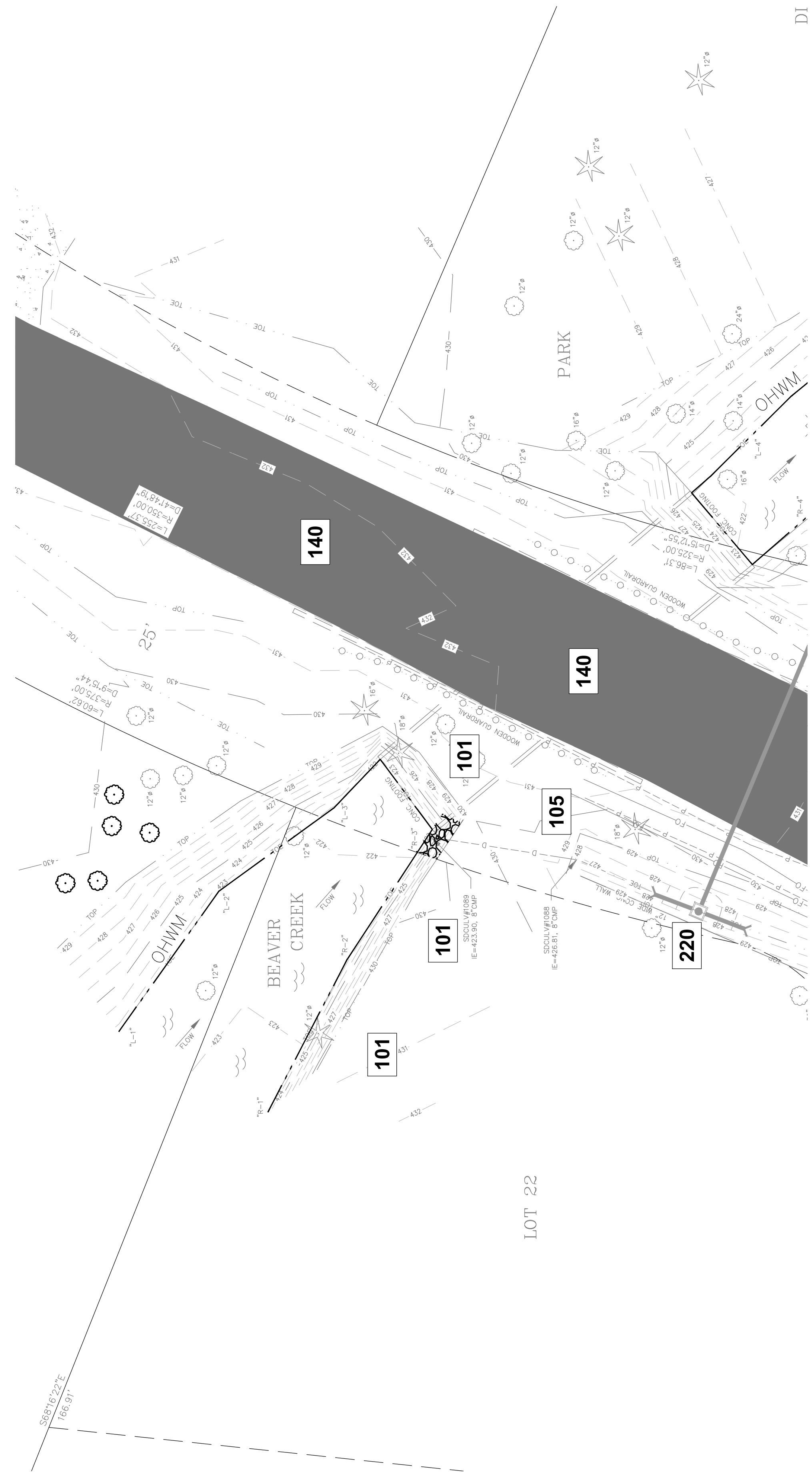
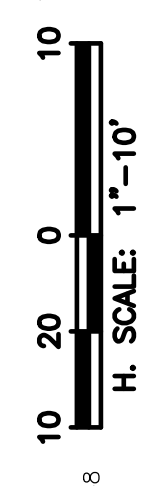
PLAN VIEW
 1:10

SCALE: 1" = 10'



EROSION CONTROL NOTES

1. APPROVAL OF THE EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
4. THE ESC FACILITIES SHOWN ON THE PLANS MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
6. THE ESC FACILITIES ON ACTIVE CONSTRUCTION SITES SHALL BE INSPECTED DAILY BY APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTION.
7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 24 HOURS FOLLOWING A MAJOR STORM EVENT.
8. AT NO TIME SHALL MORE THAN 6 INCHES OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN SUMPS. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSIDE DRAINAGE SYSTEM. TRASH PUMPS SHALL PUMP TO VEGETATED AREAS ON SITE.
9. MAINTAIN THE EXISTING GRAVEL ACCESS. REPLACE OR RESTORE AS NECESSARY. TRACKING OF DEBRIS ONTO COUNTY ROADS IS PROHIBITED.
10. STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL BMPs, INCLUDING SEDIMENT TRAPS, MAY BE NECESSARY AS CONDITIONS WARRANT. BMPs SHALL BE INSTALLED PER RECOMMENDATIONS IN THE DOE STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON, 2012 EDITION.
11. NETS AND BLANKETS (BMP C122) OR PLASTIC COVERING (BMP C123) MAY BE USED IN LIEU OF TEMPORARY MULCHING.
12. AN NPDES CONSTRUCTION STORMWATER GENERAL PERMIT FROM WASHINGTON STATE DEPARTMENT OF ECOLOGY (DOE) HAS BEEN OBTAINED FOR THIS PROJECT SINCE CONSTRUCTION ACTIVITIES WILL DISTURB MORE THAN ONE ACRE OF SOIL.
13. NO SOIL SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS BETWEEN MAY 1 AND SEPTEMBER 30, BETWEEN OCTOBER 1 AND APRIL 30, NO SOIL SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN TWO (2) DAYS. ALL EXPOSED SOILS SHALL BE COVERED WITH MULCH, NETS/BLANKETS, ESC SEED MIX AND/OR PLANTINGS WITHIN 48 HOURS OF INITIAL CLEARING. EXCAVATION PILES SHALL BE COVERED WITH SECURED PLASTIC COVERING (BMP C123) WHEN NOT BEING WORKED.
14. CONSTRUCTION TRAFFIC THAT WILL LEAVE THE SITE SHALL REMAIN ON PAVED OR STABILIZED SURFACES TO THE MAXIMUM EXTENT. OTHER VEHICLES THAT WILL REMAIN ON SITE, SUCH AS EXCAVATORS, MAY WORK WITHIN AREAS OF EXPOSED SOIL.



CONSTRUCTION SCHEDULE

THE FOLLOWING IS A GENERAL BASELINE AND SCHEDULE FOR INSTALLING EROSION CONTROL BMPs. THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE A GENERAL GUIDE AND THE PROJECT CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESCL) IS ULTIMATELY RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND MODIFICATION OF ALL EROSION CONTROL MEASURES SHOWN IN THIS PLAN SET AND OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN. THE CESCL SHALL DIRECTLY APPROVE INSTALLATION, MAINTENANCE AND MODIFICATION OF THE SWPPP.

1. IDENTIFY AND FLAG CLEARING LIMITS.
2. INSTALL TEMPORARY CONSTRUCTION ENTRANCE/EXIT.
3. INSTALL PERIMETER BMP'S
4. PERFORM OVERALL CLEARING AND GRADING.
5. PRESERVE SURROUNDING NATIVE VEGETATION.
6. DEPENDING ON WEATHER CONDITIONS, EROSION ISSUES MAY ARISE. INSPECT AND MAINTAIN INSTALLED ESC ITEMS AND BE PREPARED FOR THE POSSIBLE NEED FOR ADDITIONAL ESC MEASURES. CONTACT THE PROJECT CERTIFIED EROSION AND SEDIMENT CONTROL LEAD AS REQUIRED.
7. MONITOR WEATHER AND ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED. WHETHER SHOWN ON THIS PLAN OR NOT, ADDITIONAL BMP MATERIALS SHALL BE KEPT ON HAND AT ALL TIMES (SUCH AS GRAVEL, STRAW, PLASTIC OR EQUIVALENT).
8. WHEN GRADING AND CONSTRUCTION ARE COMPLETE, SEED AND STABILIZE ALL EXPOSED SOILS AND REMOVE TEMPORARY BMPs ONCE DEEMED NO LONGER NECESSARY.

LEGEND

- ELEMENT #1 — MARK CLEARING LIMITS**
- 101** BMP C101 PRESERVE VEGETATION
- ELEMENT #2 — ESTABLISH CONSTRUCTION ACCESS**
- 105** BMP C105 STABILIZED CONSTRUCTION ENTRANCE (ONLY INSTALLED IF NECESSARY)
- ELEMENT #3 — CONTROL FLOW RATES**
- 220** BMP C220 STORM DRAIN INLET PROTECTION
- ELEMENT #4 — INSTALL SEDIMENT CONTROLS**
- 220** BMP C220 STORM DRAIN INLET PROTECTION
- ELEMENT #5 — STABILIZE SOILS**
- 120** BMP C120 TEMPORARY AND PERMANENT SEEDING
 - 121** BMP C121 MULCHING
 - 140** BMP C140 DUST CONTROL
- ELEMENT #6 — PROTECT SLOPES**
- 120** BMP C120 TEMPORARY AND PERMANENT SEEDING
 - 121** BMP C121 MULCHING
- ELEMENT #7 — PROTECT DRAIN INLETS AND OUTLETS**
- 220** BMP C220 STORM DRAIN INLET PROTECTION
- ELEMENT #8 — STABILIZE CHANNELS AND OUTLETS**
- 122** BMP C122 NETS AND BLANKETS
- ELEMENT #10 — CONTROL DEWATERING**
- N/A
- ELEMENT #11 — MAINTAIN BMPs**
- 160** BMP C160 CERTIFIED EROSION AND SEDIMENT CONTROL LEAD
- ELEMENT #12 — MANAGE THE PROJECT**
- 160** BMP C160 CERTIFIED EROSION AND SEDIMENT CONTROL LEAD
- ELEMENT #13 — PROTECT LID BMPs**
- 103** BMP C103 HIGH VISIBILITY FENCE

BEAVER CREEK BANK IMPROVEMENTS
TESCP
 SUDEN VALLEY
 WHATCOM COUNTY, WASHINGTON

REV	DATE	BY	DESCRIPTION

PROJECT NUMBER:
22068

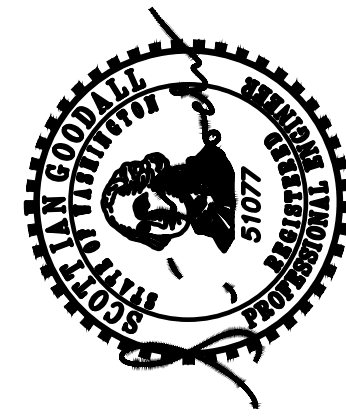
DESIGNED/DRAWN BY:
SIG

CHECKED BY:
SIG

ISSUE DATE:
05.05.23

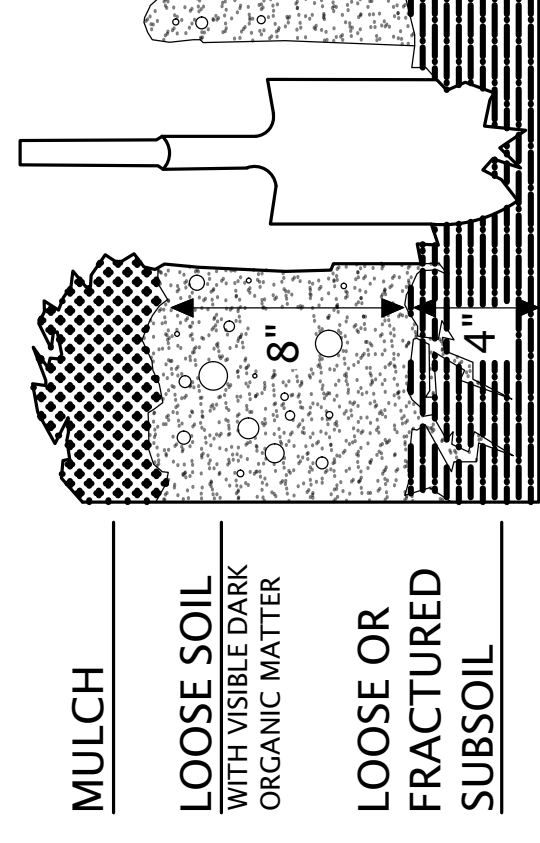
OF:
C3
C5

05.05.23



**CALL 2 BUSINESS
DAYS BEFORE
YOU DIG**
1-800-424-5555

UTILITIES ARE KNOWN TO EXIST AND
NOT ALL UTILITIES ARE SHOWN. ALL
UTILITIES PRIOR TO CONSTRUCTION.



BMP T5.13 SOIL AMENDMENT
NOT TO SCALE

ESTABLISH A MINIMUM SOIL QUALITY AND DEPTH IS NOT THE SAME AS PRESERVATION OF NATURALLY OCCURRING SOIL AND VEGETATION. HOWEVER, ESTABLISHING A MINIMUM SOIL QUALITY AND DEPTH, PROVIDE IMPROVED ON-SITE MANAGEMENT OF ORGANIC WASTE. ORGANIC WASTE MANAGEMENT CAN BE ACHIEVED THROUGH VARIOUS METHODS, SUCH AS COMPOST, COMPOSTED WOODY MATERIAL, BIOSOLIDS, AND FOREST PRODUCT RESIDUALS. IT IS IMPORTANT THAT THE MATERIALS USED TO MEET THE SOIL QUALITY AND DEPTH BMP BE APPROPRIATE AND BENEFICIAL TO THE PLANT COVER TO BE ESTABLISHED. LIKEWISE, IT IS IMPORTANT THAT IMPORTED TOPSOILS IMPROVE SOIL CONDITIONS AND DO NOT HAVE AN EXCESSIVE PERCENT OF CLAY FINES. THIS BMP CAN BE CONSIDERED INFESIBLE ON TILL SOIL SLOPES GREATER THAN 33 PERCENT.

SOIL RETENTION: RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

SOIL QUALITY: ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

1. A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER DEPTH SHALL BE PER PLAN. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
2. MULCH PLANTING BEDS WITH 4 INCHES OF WOOD CHIP MULCH. USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
 - 2.a. THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIORETENTION (BMP T7.30), WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 35% BIOSOLIDS OR MANURE. THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65%, AND A CARBON TO THE NITROGEN RATION BELOW 25:1. THE CARBON TO NITROGEN RATION MAY BE AS HIGH 35:1 FOR PLANTING COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
 - 2.b. UNCOMPOSTED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIALS MEETING (A.) ABOVE; OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATION AND MEETING THE NUTRIENT STANDARDS OF GRADE A COMPOST. THE RESULTING SOIL SHOULD BE CONDUCTIVE TO THE TYPE OF VEGETATION TO BE ESTABLISHED.

IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY USING ONE OF THE METHODS LISTED:

1. LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
2. AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES BASED ON TESTS OF THE SOIL AMENDMENT.
3. STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACED IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.

MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT WSDOT/APWA STANDARD SPECIFICATIONS.
2. NORMAL WORKING HOURS ARE 8:00 AM. TO 7:00 PM., MONDAY THROUGH FRIDAY. WORK DURING HOLIDAYS, WEEKENDS, AND OUTSIDE THE NORMAL WORK HOURS REQUIRES PRIOR ARRANGEMENTS AND APPROVAL.
3. THE CONTRACTOR SHALL CONTACT UTILITY LOCATION SERVICE 48 HOURS PRIOR TO STARTING WORK AT (800) 424-5555 OR 811.
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5. ALL TESTING REQUIRED FOR THE WORK SHALL BE THE RESPONSIBILITY OF THE OWNER.
6. THE CONTRACTOR SHALL RESTORE ALL PRIVATE AND PUBLIC PROPERTY DISTURBED BY THE WORK IMMEDIATELY AFTER CONSTRUCTION. THE CONTRACTOR SHALL NOT LEAVE ANY PART OF THE ROAD USED BY OTHERS UN-PASSABLE WITHOUT NOTIFICATIONS AND AGREEMENT OF OTHER USERS.
7. ALL CUT AND FILL SLOPES SHALL BE MULCHED AND SEEDED FOR EROSION CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SLOPE EROSION UNTIL VEGETATION IS FIRMLY ESTABLISHED.
8. CONTRACTOR SHALL SWEEP AND REMOVE ALL DEBRIS TRACKED ONTO EXISTING ROADS DURING ALL PHASES OF CONSTRUCTION.
9. THE CONTRACTOR SHALL INFORM THE ENGINEER OF RECORD OR REPRESENTATIVE AND OBTAIN APPROVAL FOR ANY PROPOSED CHANGES IN PLANS PRIOR TO IMPLEMENT.
10. TRAFFIC CONTROL IS TO BE MAINTAINED IN ACCORDANCE WITH WSDOT/APWA STANDARD SPECIFICATIONS.
11. ALL EXCAVATION TO OCCUR ABOVE AND LANDWARD OF LOW FLOW WATER SURFACE ELEVATION.

REV	DATE	BY	DESCRIPTION

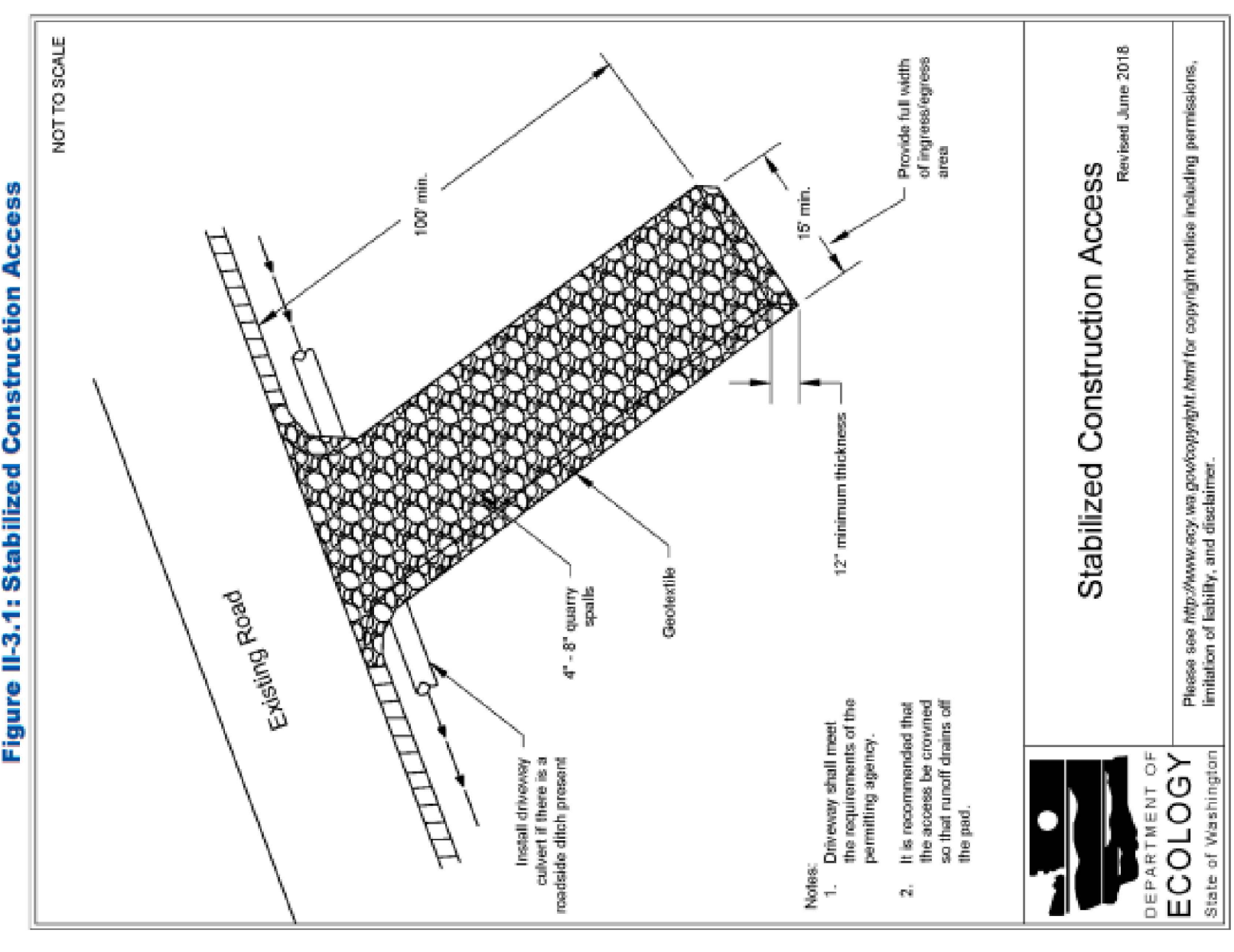
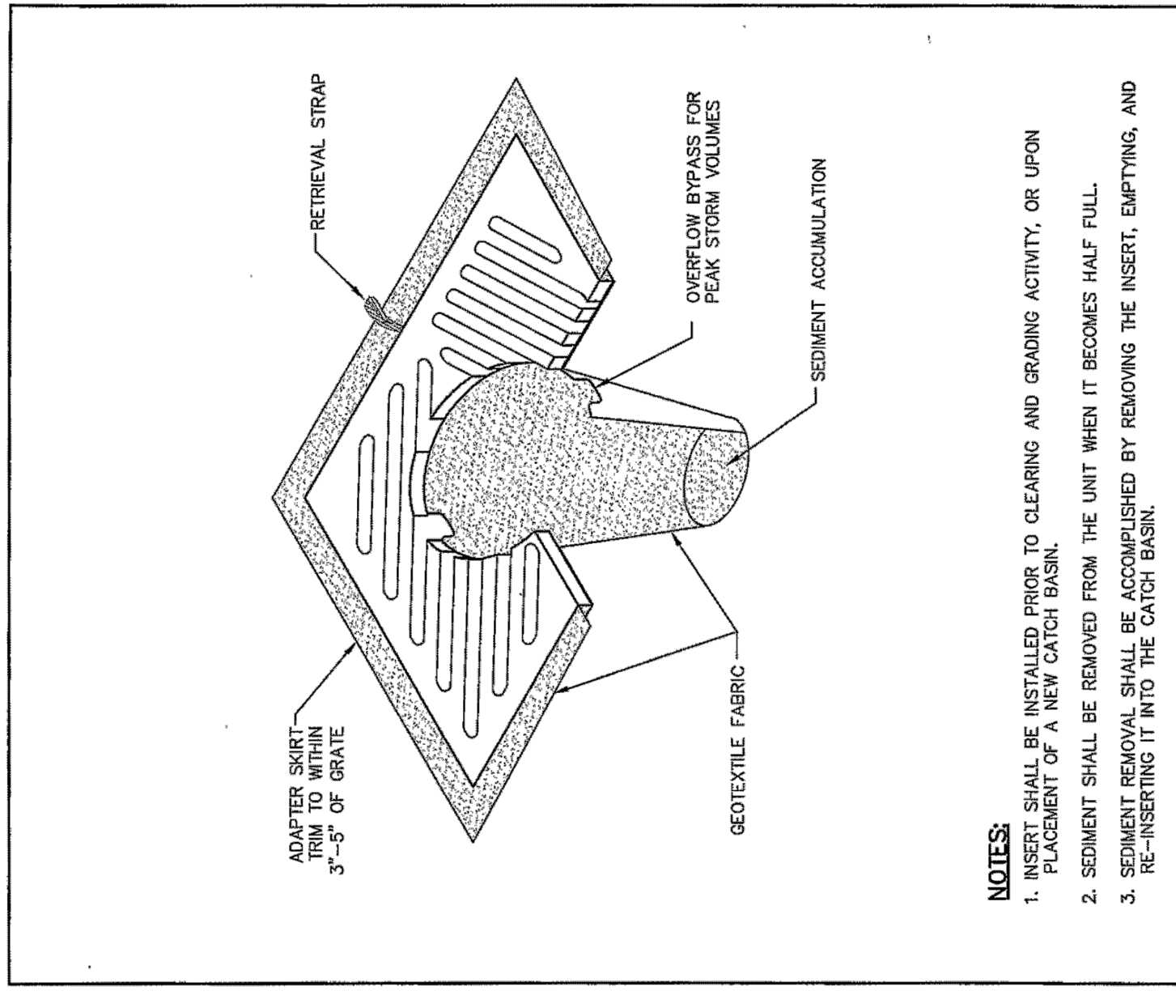


Figure II-3.1: Stabilized Construction Access
NOT TO SCALE

Stabilized Construction Access
Revised June 2016
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DEPARTMENT OF **ECOLOGY**
State of Washington



NOTES:
1. INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY, OR UPON PLACEMENT OF A NEW CATCH BASIN.
2. SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL.
3. SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING IT INTO THE CATCH BASIN.

APPROVED: *[Signature]*
City Engineer
CITY OF BELLINGHAM
CATCH BASIN INSERT
Date: 11/29/24
DRAWING: EC-620

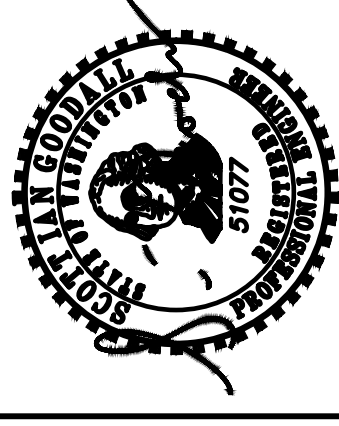
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OFF: C5

CHECKED BY: SIG
ISSUE DATE: 05.05.23

DESIGNED/DRAWN BY: TKR
PROJECT NUMBER: 22068

SUDDEN VALLEY MAINTENANCE NOA'S



3.12.2024

SCVA MAINTENANCE NOA'S
COVER SHEET
SUDDEN VALLEY
WHATCOM COUNTY, WASHINGTON

REV	DATE	BY	DESCRIPTION

PROJECT NUMBER: 23052
DESIGNED/DRAWN BY: BLS
CHECKED BY: SIG
ISSUE DATE: 3.12.2024

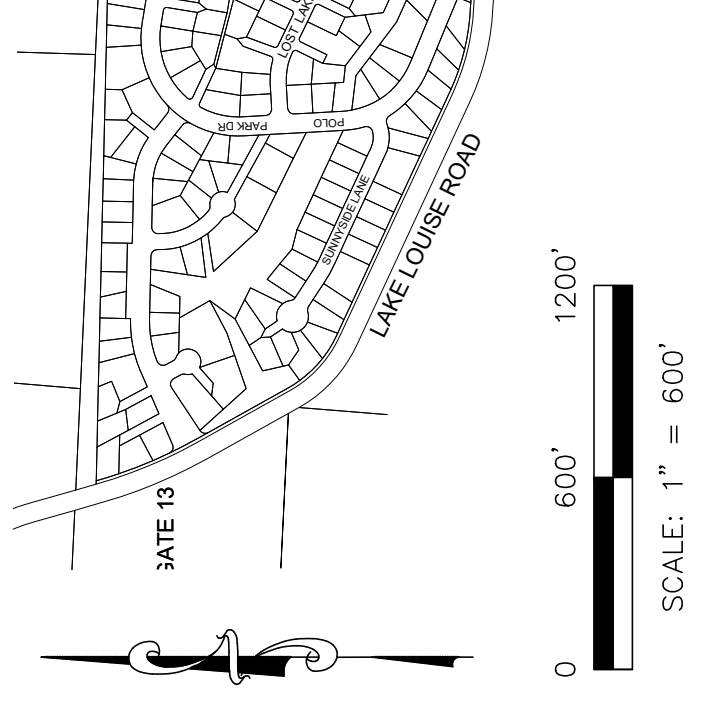
C1
OF: C10



EXISTING CONDITIONS

LEGEND

- FOUND REBAR & CAP
- SET NAIL & SHIMMER
- SET HUB & TACK
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAINAGE CATCH BASIN
- ▽ EXISTING FIRE HYDRANT
- ⊥ EXISTING WATERLINE VALVE
- EXISTING WATER METER SERVICE
- EXISTING UTILITY JUNCTION BOX
- ⊕ TREE DIAMETER
- ★ EXISTING TREE (CONIFER)
- EXISTING TREE (DECIDUOUS)



CONTACT INFORMATION:

CLIENT
PNW SERVICES, INC.
PO BOX 30498
BELLINGHAM, WA 98228
425-954-9614

ENGINEER
SCOTT GOODALL, P.E.
5426 BARRETT ROAD
SUITE A103
FERNDALE, WA 98248
(360) 385-8138
scott@bold-impact.com

SHEET INDEX:

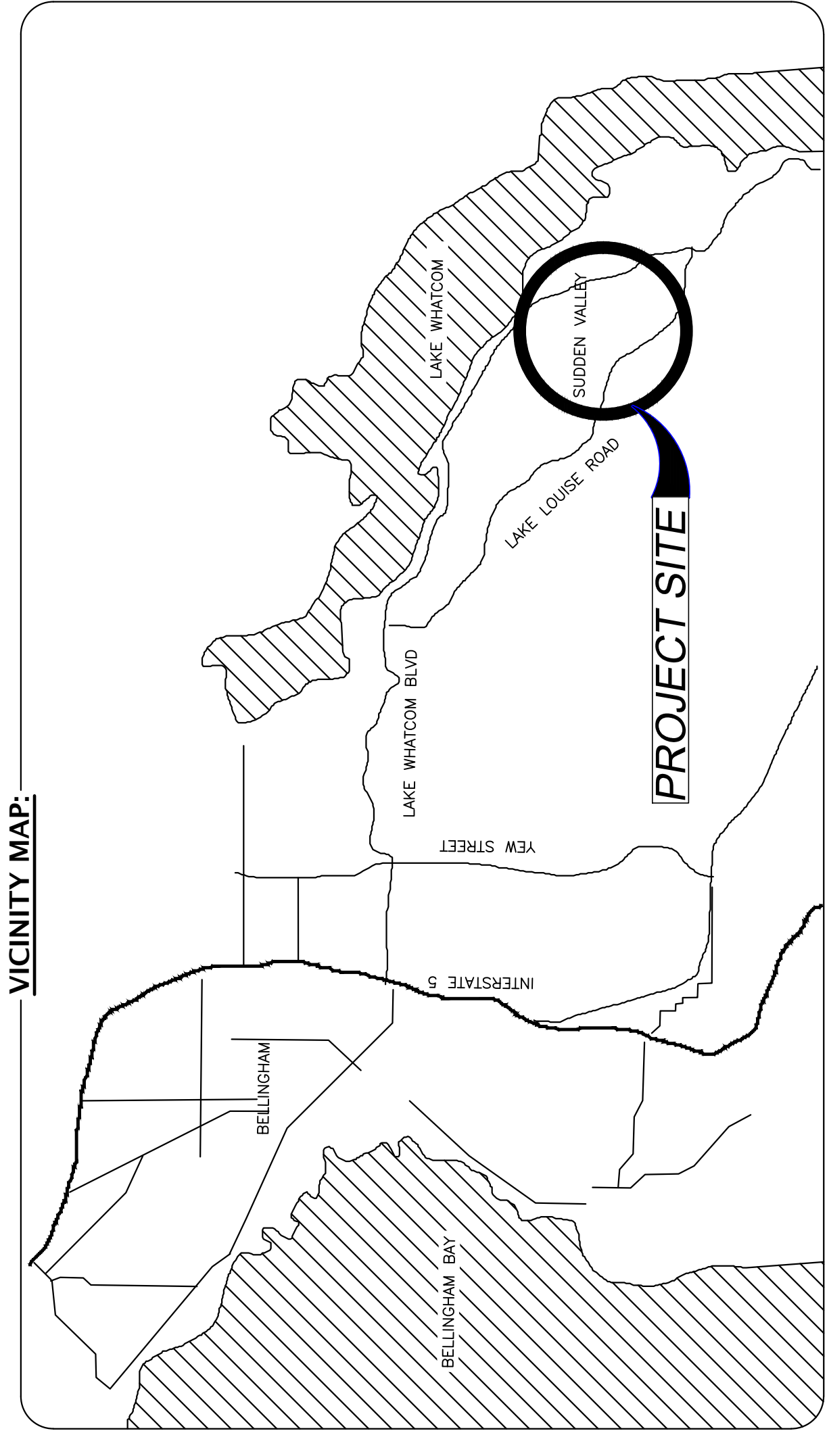
C1 COVER SHEET & EXISTING CONDITIONS
C2 NOA DESCRIPTIONS
C3 NOA DESCRIPTIONS
C4 SHEET OVERVIEW
C5 NW CORNER
C6 SW CORNER
C7 NE CORNER
C8 SE CORNER
C10 DETAILS

REVIEW APPROVAL

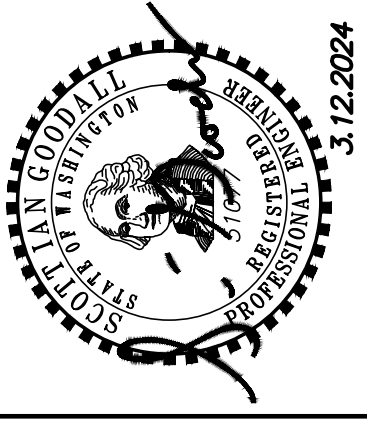
REVIEW IS FOR GENERAL COMPLIANCE AND CONSISTENCY WITH APPLICABLE WHATCOM COUNTY CODES, REGULATIONS, AND/OR STANDARDS

NO RESPONSIBILITY IS ASSUMED FOR CORRECTNESS OF DATA, DIMENSIONS, OR DETAILS.

DEPARTMENT OF PUBLIC WORKS-ENGINEERING SERVICES
BY _____ DATE _____



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REVISION	BY	DATE	DESCRIPTION

PROJECT NUMBER: 23052
DESIGNED/DRAWN BY: BLS
CHECKED BY: SIG
ISSUE DATE: 3.12.2024

Culvert ID	Zone Number	Approximate Address	Culvert		Project Description
			Length (ft.)	Diameter (in.)	
403	Zone 9	230 Polo Park Dr	59	18	Remove and replace culvert with same size CPP
404	Zone 9	230 Polo Park Dr	79	18	Remove and replace culvert with same size CPP
FND67	Zone 1	Gate 1 Mailbox Entrance	39	12	Remove culvert and maintain positive drainage
FND 68.2	Area Z	Maintenance Parking	12	12	Remove and replace culvert with same size CPP
FND 68.3	Area Z	Maintenance Parking	90	12	Remove and replace culvert with same size CPP
FND 68.4	Area Z	Btwn Maintenance/Tall Bar	40	12	Remove and replace culvert with same size CPP
FND 68.1	Area Z	Toward Community Garden	37	12	Remove and replace culvert with same size CPP
FND Area Z	Area Z	Large Barn Area Z	205	12	Remove and replace culvert with same size CPP
FND 21.2	Zone 3A	Newberry Ct	27	18	Remove and replace culvert with same size CPP
205	Zone 3A	15 Spring Rd	40	24	Remove and replace culvert with same size CPP
176	Zone 3B	24 Lost Fork Ln	50	12	Remove and replace culvert with same size CPP
432 433	Zone 3B	13 Strawberry Cyn Ct	46	18	Remove and replace culvert with same size CPP
402	Zone 3B	7 Lost Fork Ln	39	24	Remove and replace culvert with same size CPP
103	Zone 3C	142 Harbor View Dr	42	24	Remove and replace culvert with same size CPP
99	Zone 3C	28 Plum Ln	51	12	Remove and replace culvert with same size CPP
214	Zone 3C	46 Maple Ct	67	18	Remove and replace culvert with same size CPP
122	Zone 3D	2 Rocky Ridge Dr	29	18	Remove and replace culvert with same size CPP
117	Zone 3D	54 Harbor View Dr	35	18	Remove and replace culvert with same size CPP
FND 30	Zone 3D	99 Harbor View Dr	39	18	Remove and replace culvert with same size CPP
109	Zone 3D	55 Green Hill Rd	41	18	Remove and replace culvert with same size CPP
120	Zone 3D	10 Harbor View Dr	42	18	Remove and replace culvert with same size CPP
118	Zone 3D	46 Harbor View Dr	43	18	Remove and replace culvert with same size CPP
110	Zone 3D	125 Harbor View	52	18	Remove and replace culvert with same size CPP
39	Zone 9	8 Horseshoe Cir	34	12	Remove and replace culvert with same size CPP
27	Zone 13	66 Polo Park Dr	39	12	Remove and replace culvert with same size CPP
20	Zone 13	168 Polo Park Dr	42	12	Remove and replace culvert with same size CPP
55	Zone 13	5 River Ridge Loop	45	12	Remove and replace culvert with same size CPP

SEE PAGE C3 FOR CONTINUATION

*CULVERT FND 67 IS TO BE REMOVED AND NOT REPLACED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THERE IS PROPER DRAINAGE ON THE ROADWAY, WHICH FLOWS INTO THE DRAINAGE SWALE LOCATED ALONG WINDWARD DRIVE.

78	Zone 13	29 Sunnyside Ln	50	18	CMP	Remove and replace culvert with same size CPP
1	Zone 13	150 Polo Park Dr	54	18	CMP	Remove and replace culvert with same size CPP
13	Zone 5	18 Big Leaf Ln	60	24	CMP	Remove and replace culvert with same size CPP
157	Zone 1	5 North Point Dr	30	12	Green PVC/Ci	Remove and replace culvert with same size CPP
144	Zone 1	26 Longshore Ln	31	12	CMP	Remove and replace culvert with same size CPP
155	Zone 1	83 Windward Dr	35	12	CMP	Remove and replace culvert with same size CPP
FND 49	Zone 1	17 Marina Dr	40	12	CMP	Remove and replace culvert with same size CPP
139	Zone 1	17 Clear Lake Ct	40	12	CMP	Remove and replace culvert with same size CPP
FND 53	Zone 1	142 Windward Dr	41	12	CMP	Remove and replace culvert with same size CPP
142	Zone 1	65 Windward Dr	45	12	CMP	Remove and replace culvert with same size CPP
415	Zone 1	28 Windward Dr	53	12	CMP	Remove and replace culvert with same size CPP
FND 48	Zone 1	20 Par Ln	55	12	CMP	Remove and replace culvert with same size CPP
FND 45	Zone 2	23 Sunflower Cir	20	12	CMP	Remove and replace culvert with same size CPP
75	Zone 2	43 Marigold Dr	40	12	CMP	Remove and replace culvert with same size CPP
203	Zone 2	14 Lake Louise Dr	61	18	CMP	Remove and replace culvert with same size CPP
63	Zone 2	52 Lake Louise Dr	70	18	CMP	Remove and replace culvert with same size CPP
431	Zone 13	29 Lost Lake Ln	75	18	CMP	Remove and replace culvert with same size CPP
143	Zone 1	26 Longshore Ln	82	12	CMP	Remove and replace culvert with same size CPP
133	Zone 3C	4 North Summit Dr	83	24	CMP	Remove and replace culvert with same size CPP
410	Zone 2	22 Lake Louise Dr	120	12	CMP	Remove and replace culvert with same size CPP
126	Zone 3D	1 Sudden Valley Dr	120	18	CMP/PPP	Remove and replace culvert with same size CPP
445	Zone 2	20 Lake Louise Dr (Outlet)	200	12	CMP	Remove and replace culvert with same size CPP
FND 42	Zone 2	6 Lake Louise Dr	254	12	CMP	Remove and replace culvert with same size CPP
FND 61	Zone 2	37-30 Marigold Dr	283	12	CMP	Remove and replace culvert with same size CPP
Totals			3306			

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SCVA MAINTENANCE NOAS
REPAIR DESCRIPTIONS
SUDDEN VALLEY
WHATCOM COUNTY, WASHINGTON

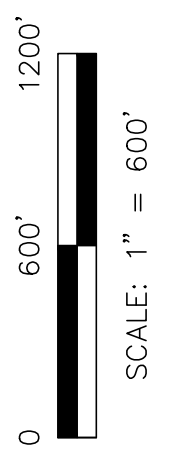
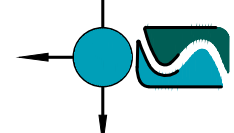
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PROJECT NUMBER:
23052
DESIGNED/DRAWN BY:
BLS
CHECKED BY:
SIG
ISSUE DATE:
3.12.2024

C3
Of: C10



SUDDEN VALLEY MAINTENANCE NOA'S



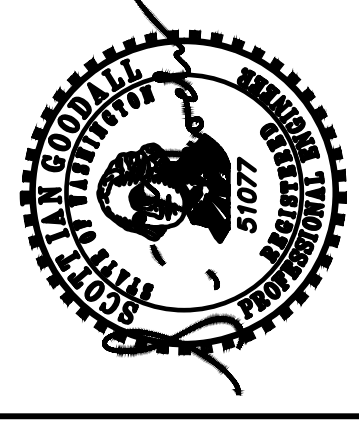
SHEET C5

SHEET C4

SHEET C6

SHEET C7

5426 BARRETT ROAD, SUITE A103
360-389-8158 WWW.BOLD-IMPACT.COM



3.12.2024

SCVA MAINTENANCE NOA'S
OVERVIEW
SUDDEN VALLEY
WHATCOM COUNTY, WASHINGTON

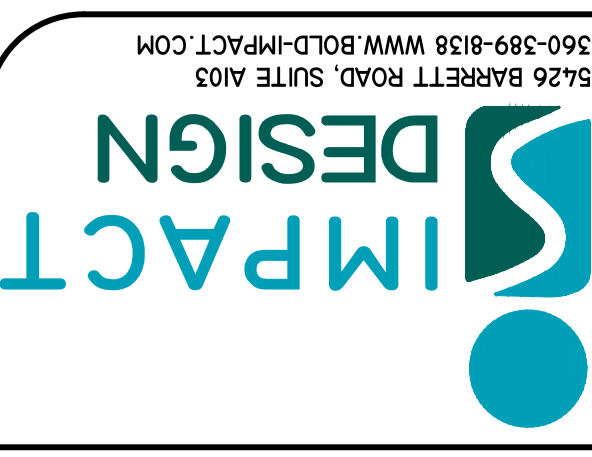
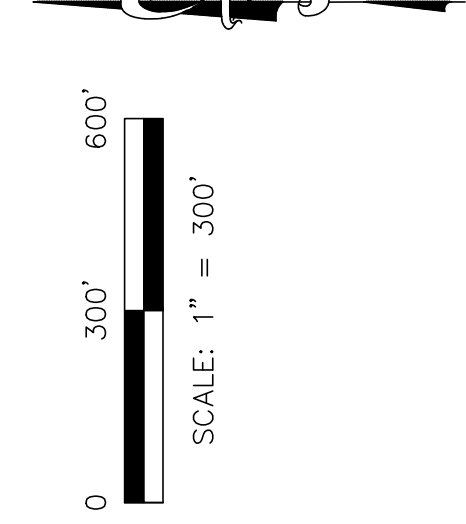
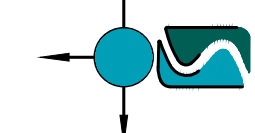
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OF: C10

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SUDDEN VALLEY MAINTENANCE NOA'S



3.12.2024

SCVA MAINTENANCE NOA'S
NW CORNER
NOA LOCATIONS
SUDDEN VALLEY
WHATCOM COUNTY, WASHINGTON

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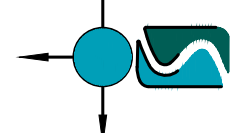
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SUDDEN VALLEY MAINTENANCE NOA'S



3.12.2024

SCVA MAINTENANCE NOA'S
 SW CORNER
 NOA LOCATIONS
 SUDDEN VALLEY
 WHATCOM COUNTY, WASHINGTON

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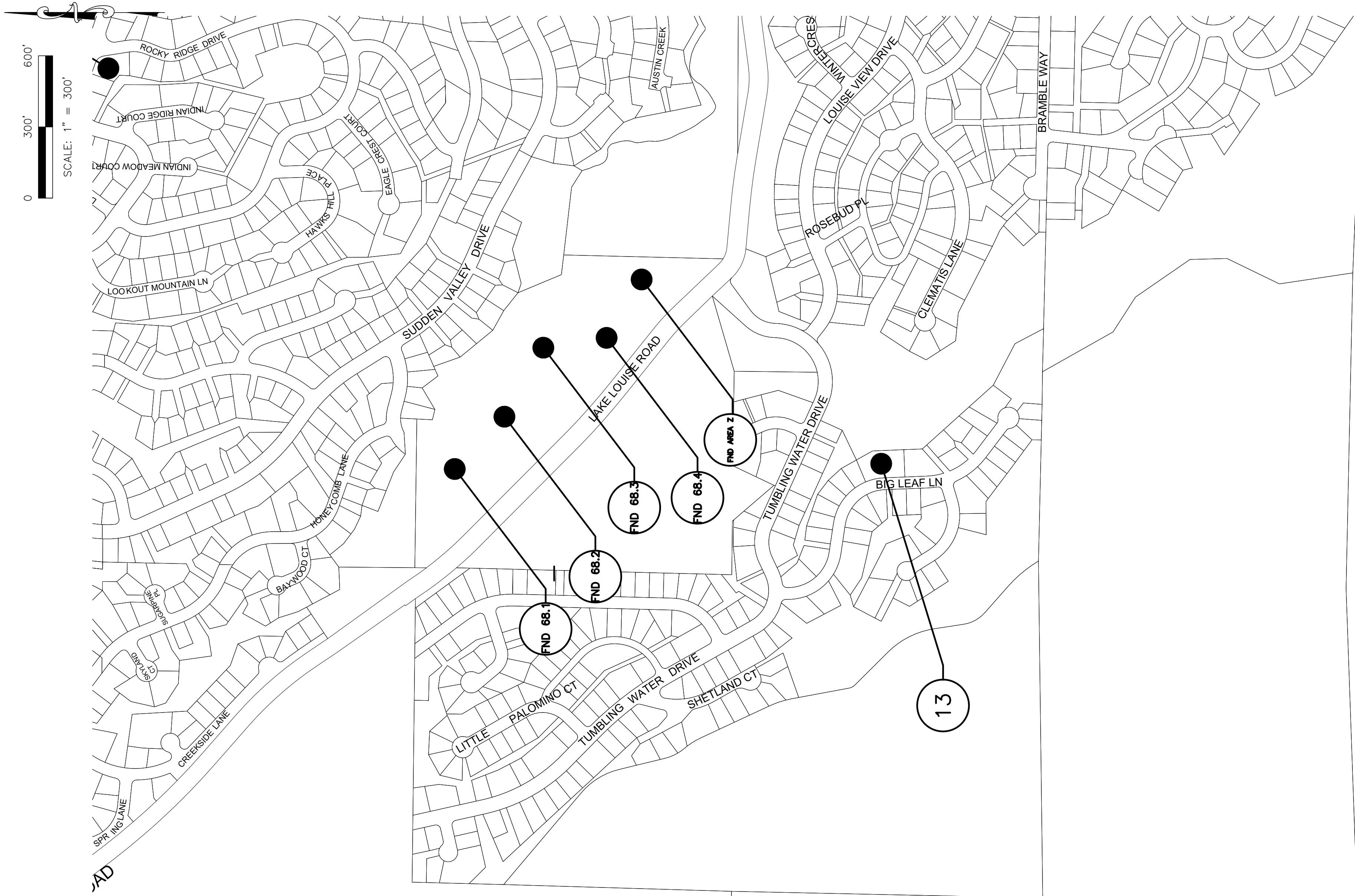
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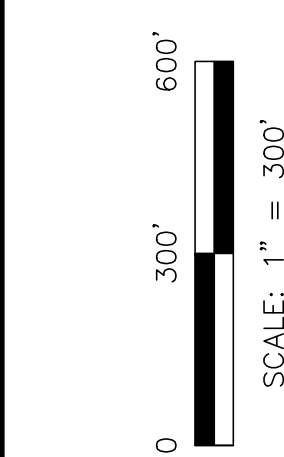
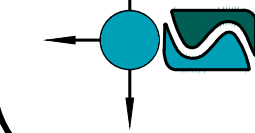
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ISSUE DATE:
3.12.2024

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SUDDEN VALLEY MAINTENANCE NOA'S



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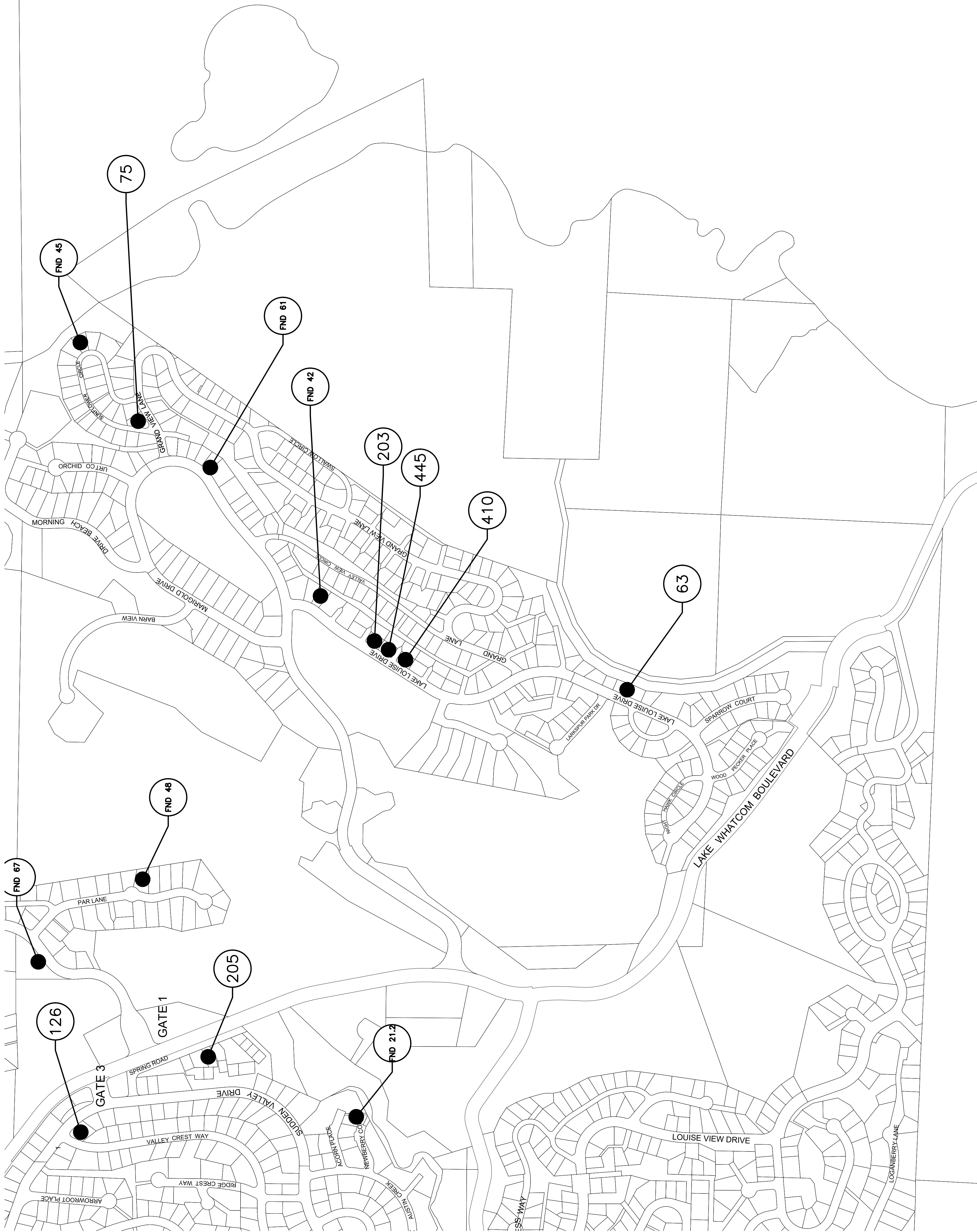
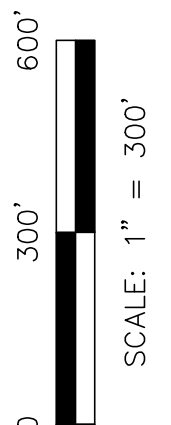
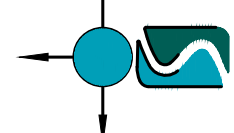
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SUDDEN VALLEY
WHATCOM COUNTY, WASHINGTON

REV	DATE	BY	DESCRIPTION

PROJECT NUMBER: 23052
DESIGNED/DRAWN BY: BLS
CHECKED BY: SIG
ISSUE DATE: 3.12.2024
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OF: C10



SUDDEN VALLEY MAINTENANCE NOA'S



3.12.2024

SCVA MAINTENANCE NOA'S
SE CORNER
SUDDEN VALLEY
WHATCOM COUNTY, WASHINGTON

REV	DATE	BY	DESCRIPTION

PROJECT NUMBER:
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DESIGNED/DRAWN BY:
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ISSUE DATE:
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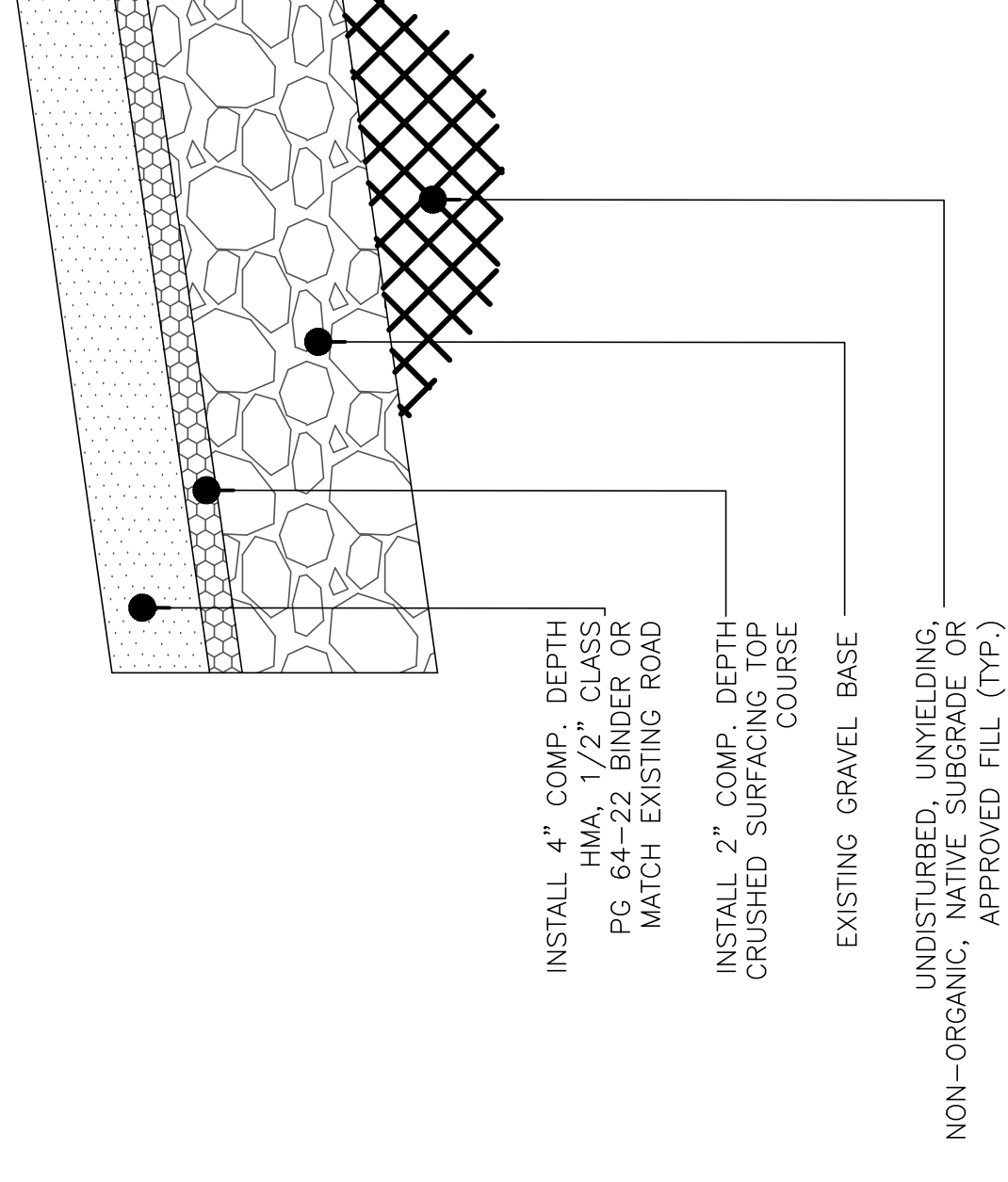
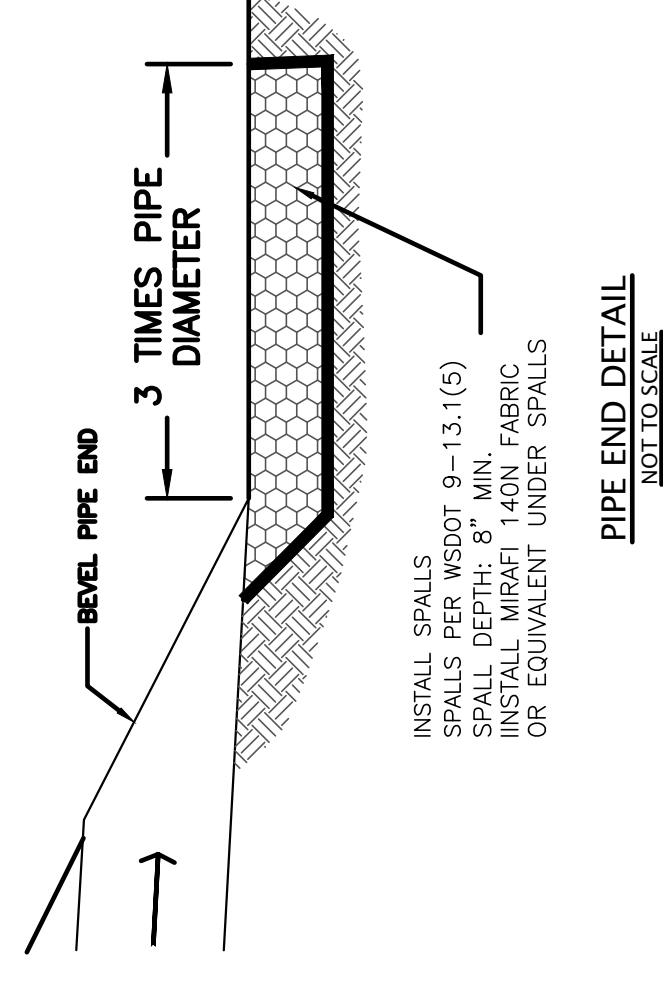
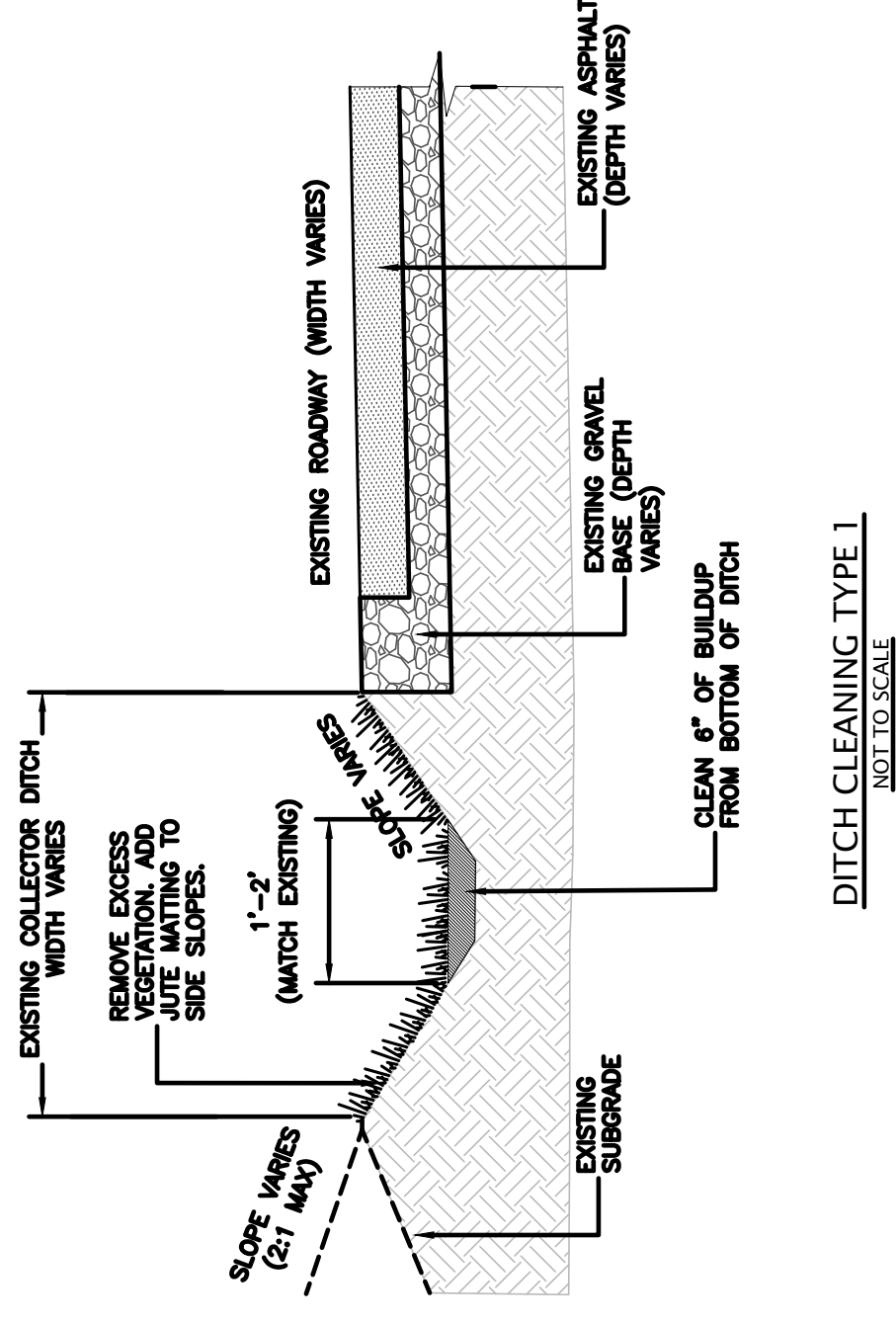
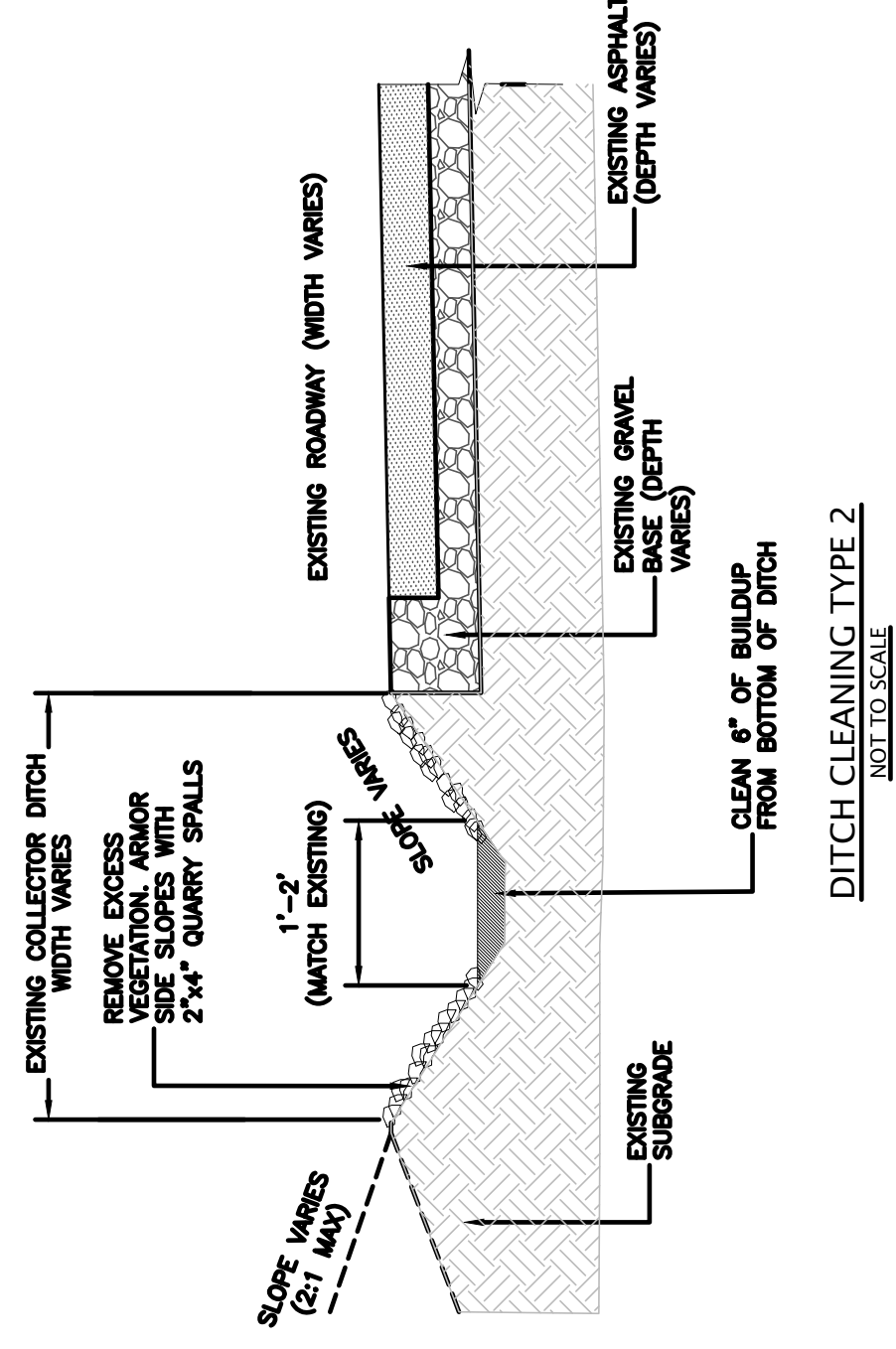
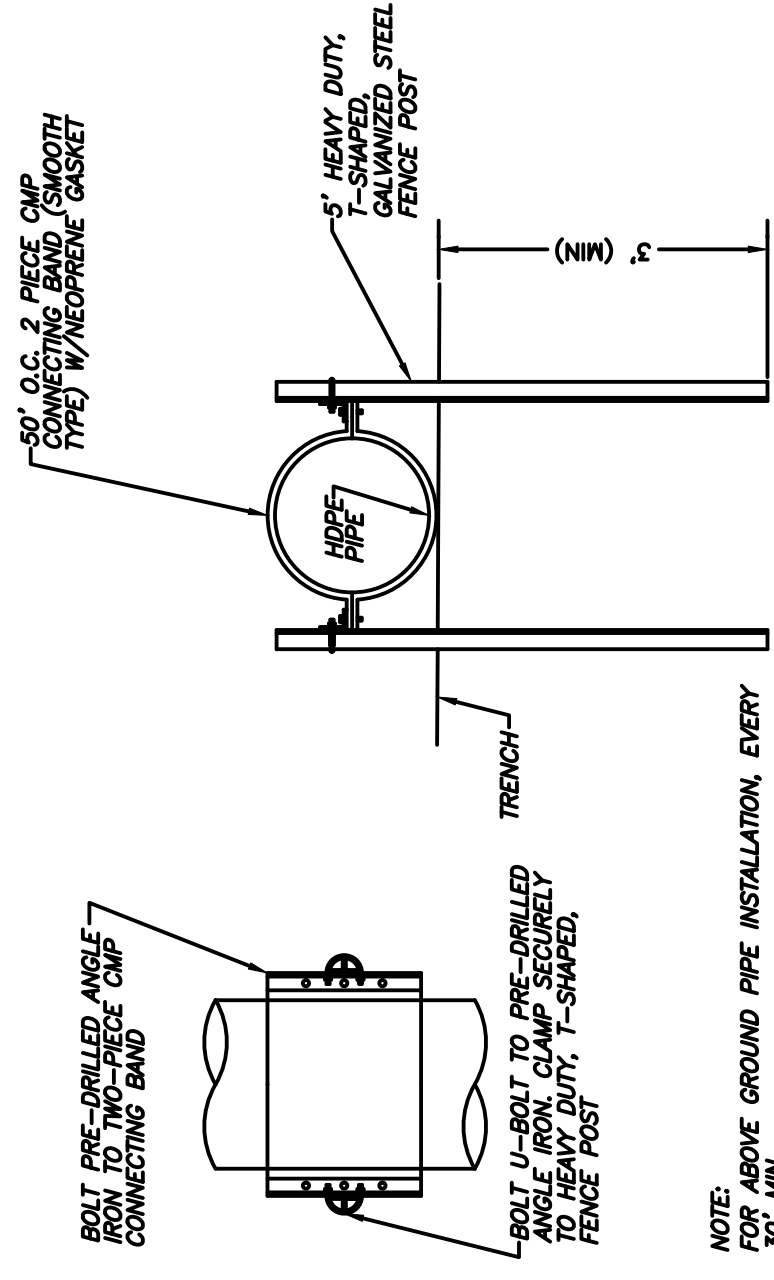
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SUDDEN VALLEY MAINTENANCE NOA'S

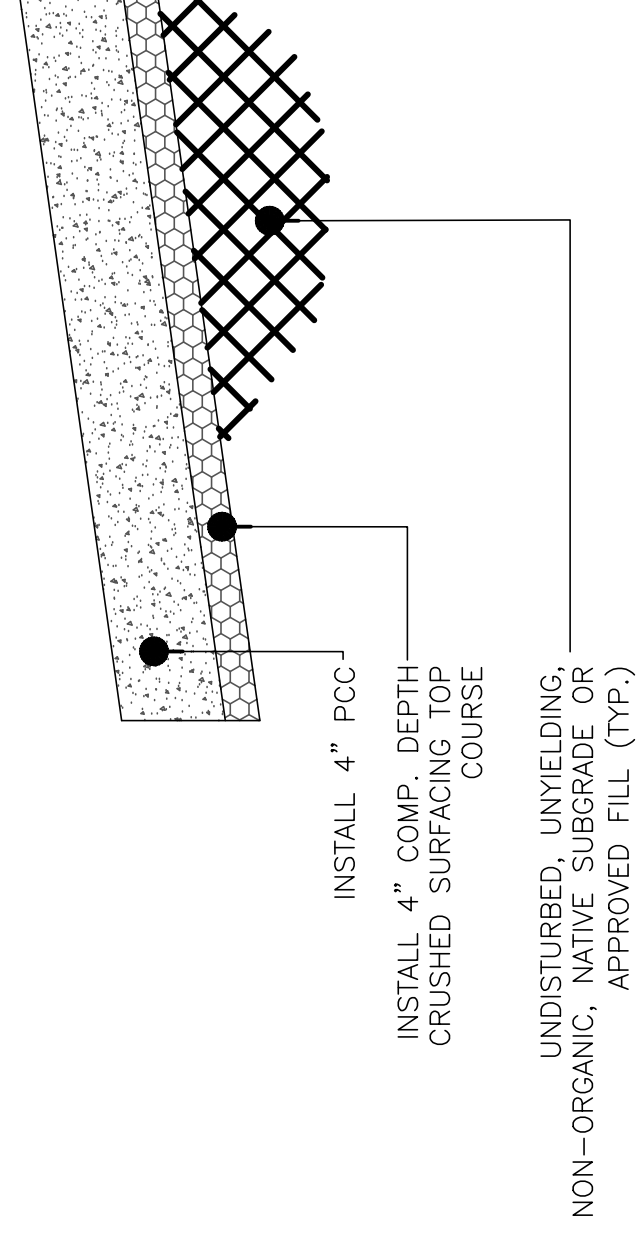
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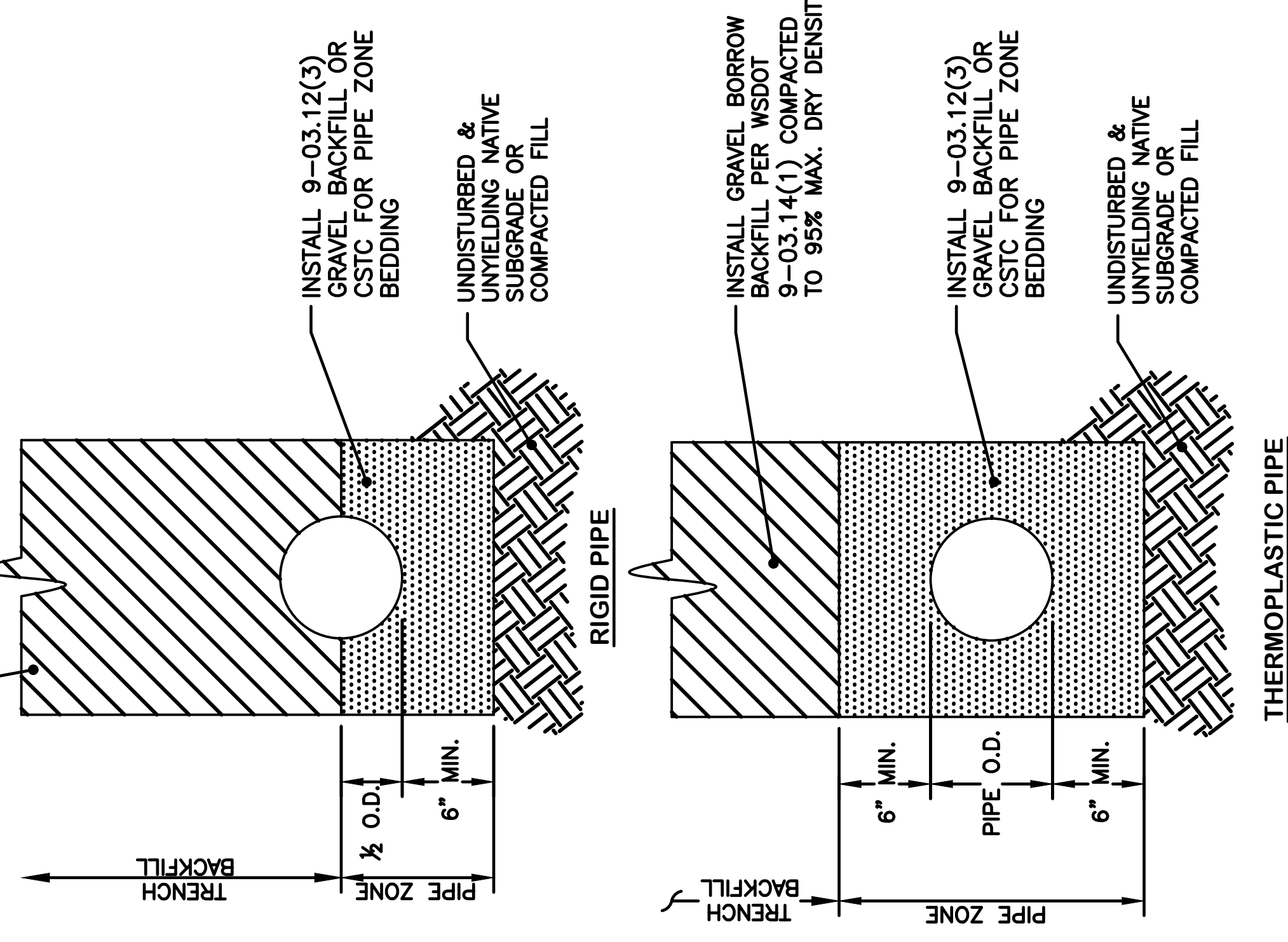
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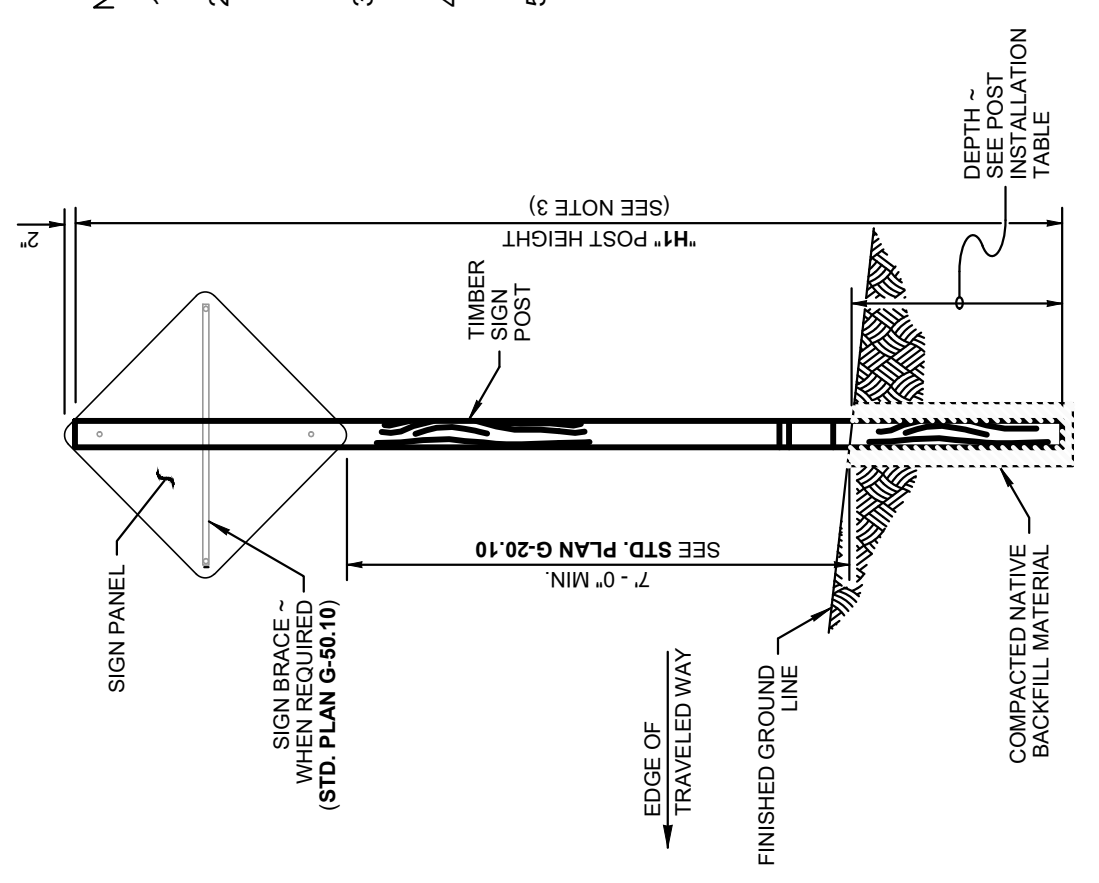
TYPICAL CONCRETE DRIVEWAY REPAIR SECTION

NOT TO SCALE



PIPE ZONE BEDDING AND BACKFILL SPECIFICATIONS

NOT TO SCALE

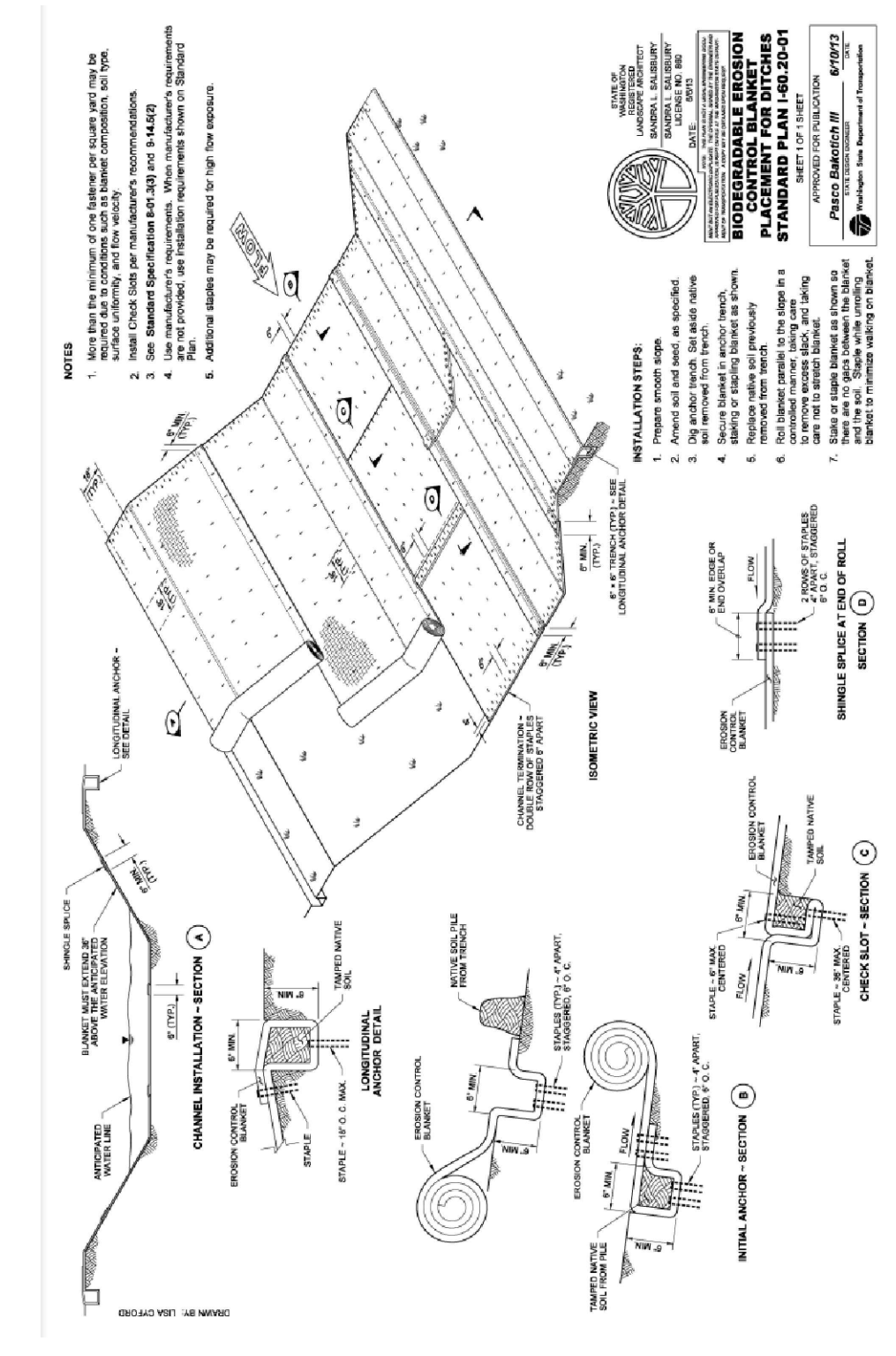


ELEVATION VIEW SINGLE-POST INSTALLATION

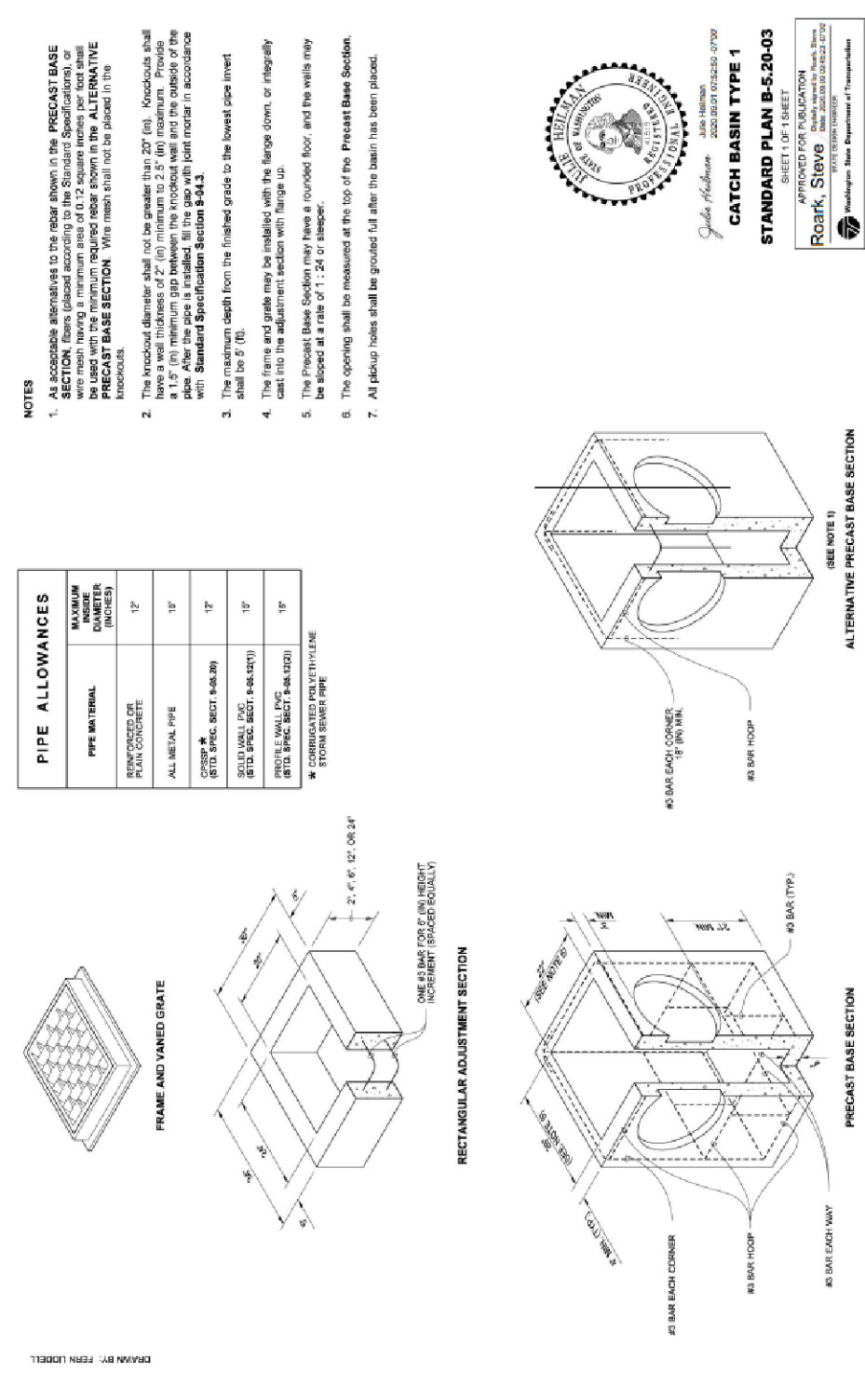
- NOTES**
1. NOTCH IS ONLY REQUIRED WITH MULTIPLE POST INSTALLATIONS.
 2. 6x10, 8x10, AND 6x12 TIMBER SIGN POSTS CANNOT BE MADE BREAKAWAY AND DO NOT HAVE HOLES OR NOTCHES. THESE POSTS SHALL NOT BE INSTALLED WITHIN THE DESIGN CLEAR ZONE. THEY MAY BE INSTALLED BEHIND TRAFFIC BARRIER.
 3. FOR "X", "Y", "H1", "H2", "H3", AND "H4", REFER TO THE SIGN SPECIFICATION SHEET IN THE CONTRACT.
 4. FOR 6x6 POSTS AND LARGER, 7' (FT) MINIMUM SPACING IS REQUIRED BETWEEN POSTS.
 5. ALL MATERIALS SHALL MEET THE REQUIREMENTS OF STANDARD SPECIFICATION SECTION 9-28.

POST INSTALLATION TABLE

POST SIZE (NOA#)	DEPTH	HOLE DIAMETER	NOTCH DEPTH (SEE NOTE 1)
4x4	3'-0"	NOT REQ'D	NOT REQ'D
4x6	4'-0"	1-1/2"	1-1/2"
6x6	4'-0"	2"	2"
6x8	5'-0"	SEE NOTES 3 & 4	SEE NOTES 3 & 4
6x10	6'-0"	SEE NOTE 2	SEE NOTE 2
8x10	6'-0"	SEE NOTE 2	SEE NOTE 2
8x12	7'-0"	SEE NOTE 2	SEE NOTE 2



- NOTES**
1. MATCH THE NUMBER OF AND SPACING OF CURBS WITH THE NUMBER AND SPACING OF THE UNDERLYING CONCRETE DRIVEWAYS.
 2. SEE STANDARD SPECIFICATIONS FOR EXISTING CATCH BASIN.
 3. SEE STANDARD SPECIFICATIONS FOR EXISTING CATCH BASIN.
 4. ADDITIONAL REMEDIATION REQUIREMENTS FOR HIGH-TRAFFIC AREAS.



PIPE ALLOWANCES

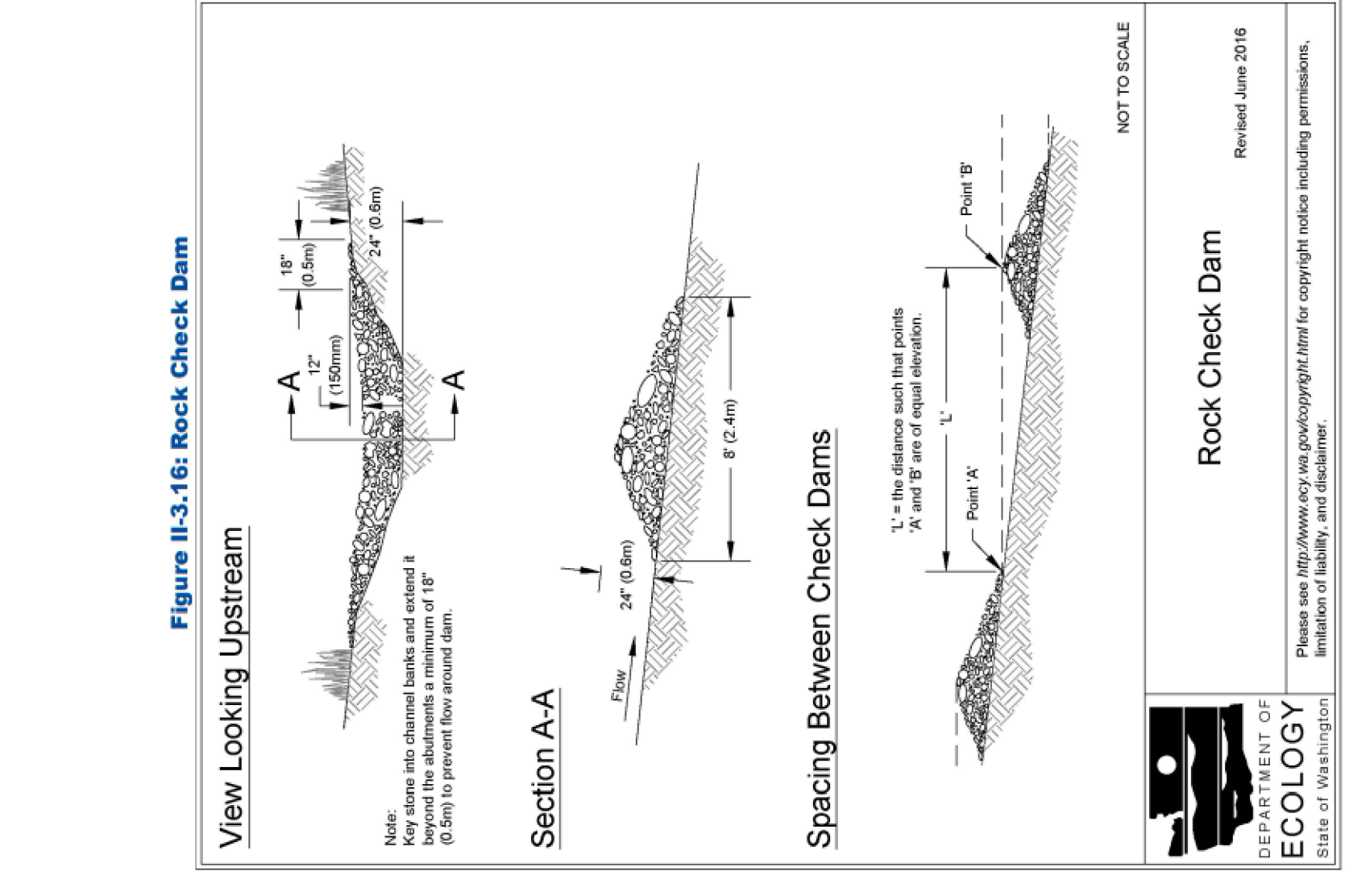
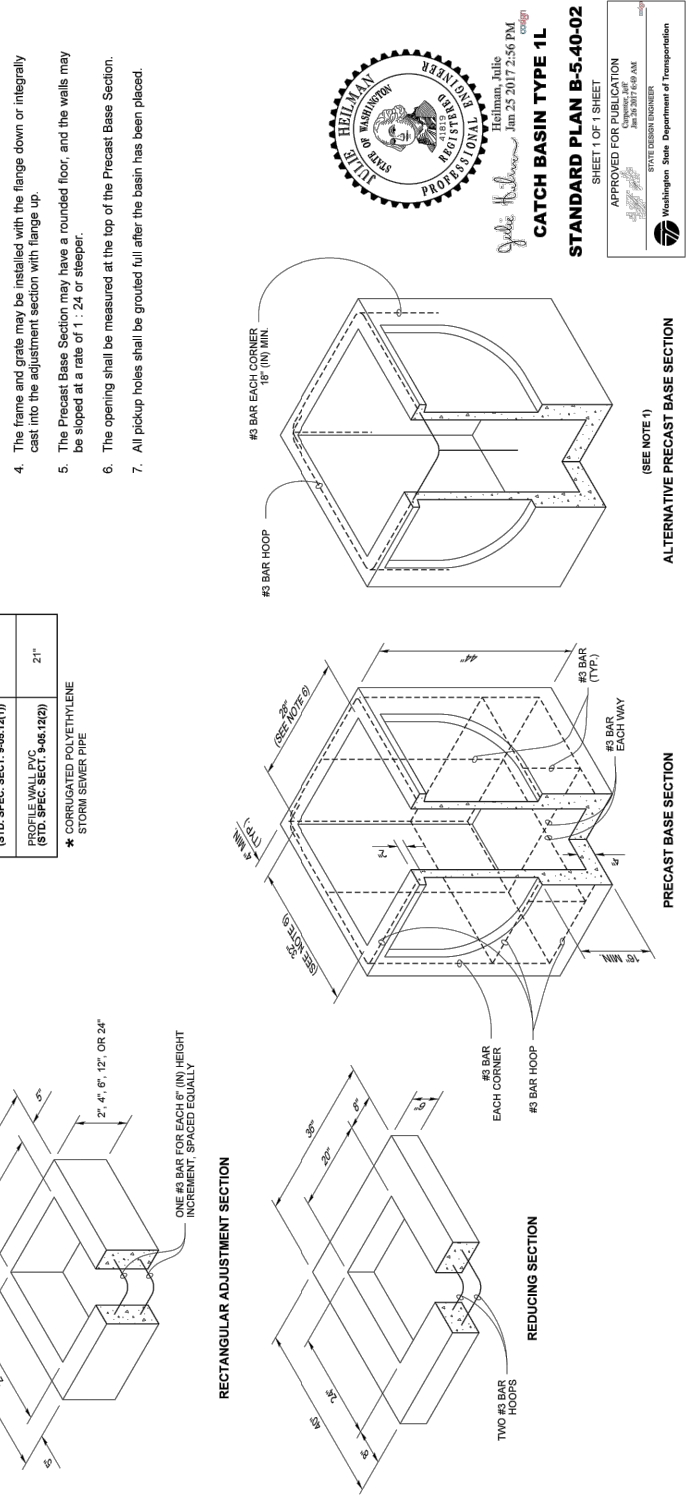


Figure II-3-16: Rock Check Dam

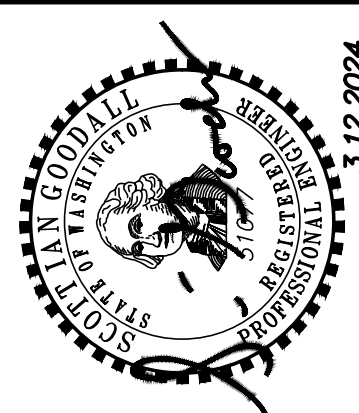


Rock Check Dam
Revised June 2016

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PIPE ALLOWANCES



3.12.2024

REV	DATE	BY	DESCRIPTION

PROJECT NUMBER: 23052
DESIGNED/DRAWN BY: BLS
CHECKED BY: SIG
ISSUE DATE: 3.12.2024

C10
OF: C10

CONSTRUCTION CONTRACT

This Construction Contract, including all appendices, (the "Contract") is made and entered into by and between Owner and Contractor on the date of the last signature below for the construction of the project described below.

OWNER

Owner's Name	Sudden Valley Community Association
Address	ATTN: General Manager 4 Clubhouse Circle Bellingham, WA 98229
Telephone Number	(360) 734-6490

CONTRACTOR

Contractor's Name	
Address	
Telephone Number	
Contractor's Authorized Representative	
Federal Identification Number	
Registration Number	
Washington UBI Number	

For and in consideration of the Contract Price noted below, subject to the terms and conditions contained herein, Contractor agrees to perform the following work (the "Work") in a timely and workmanlike manner, including supplying all necessary supervision, materials, equipment, supplies, and skilled and sufficient workforce to fully, completely, and faithfully comply with all the terms and conditions of this Contract.

1. **PROJECT.** The Project is described as follows:

Project Name: _____

Project Location: _____

2. WORK. The Contractor agrees to perform the following Work in accordance with all applicable laws, codes, and industry standards to construct the Project as follows:

(Insert and list above a precise description of the Work covered by this Subcontract, referring to the numbers of drawings and pages and/or sections of specifications including any applicable addenda and/or alternates, etc.)

3. CONTRACT DOCUMENTS. In addition to this Contract and the enclosed Standard Contract General Conditions, the Contract Documents for this Contract consist of:

Description of Document	Date

Any conflicting provisions in the Construction Documents shall be interpreted harmoniously if possible or, in the event they cannot be reconciled, then they shall be interpreted in the manner most favorable to the Owner, and the interpretation shall be governed in the following priority:

- i. This Contract;
- ii. Any drawings and/or specifications provided by the Owner;
- iii. Any Change Orders executed by and between the Owner and Contractor after execution of this Contract; and
- iv. The Contractor's Proposal.

4. CONTRACT PRICE. The Owner shall pay the Contractor \$_____, plus Washington State sales tax, for all Work completed in conformance with this Contract and the Construction Documents.

5. TIME OF PERFORMANCE. The Contractor shall commence construction no later than _____ (the "Commencement Date"), and Contractor shall complete all Work within _____ days of the Commencement Date (the "Contract Time"). The parties agree that time is of the essence of this Contract and the Owner will suffer damage and be put to additional expenses in the event that the Contractor does not have the Work substantially complete by the end of the Contract Time.

(CHECK IF APPLICABLE) Because it is difficult to accurately compute the amount of such costs and damages, the Contractor hereby covenants and agrees to pay to the Owner liquidated damages of \$____ per day for each day that expires after the time set forth above, which the Contractor and Owner agree reasonably approximates Owner's actual damages.

6. INSURANCE. Contractor shall purchase and maintain insurance in the following amounts on a per occurrence and aggregate basis naming the Owner as an additional insured by endorsement. All such insurance shall be primary to any coverage carried by Owner. Contractor shall provide Owner evidence of such coverage prior to commencing the Work.

	Per Occurrence Coverage	Aggregate Coverage
General Commercial Liability	\$1,000,000	\$2,000,000
Automobile Liability	\$250,000 or such higher amount as Contractor currently carries	NA

7. **GENERAL CONDITIONS.** The Standard Contract General Conditions (the "General Conditions") are attached hereto are incorporated herein by this reference.

8. **REPRESENTATIONS.** The Owner and the Contractor represent and warrant that the following statements are true and accurate:

THIS CONTRACT CONTAINS AN INDEMNIFICATION OF CERTAIN LIABILITIES AND A WAIVER OF CONTRACTOR'S TITLE 51 RCW IMMUNITY.

IN WITNESS WHEREOF, Owner and Contractor have executed this Contract, effective the date of the last authorized signature below.

OWNER:

CONTRACTOR:

SUDDEN VALLEY COMMUNITY
ASSOCIATION

Date: _____

By: _____

Its: _____

Date: _____

STANDARD CONTRACT GENERAL CONDITIONS

- A. Subcontractors and Lien Releases.** Contractor shall, upon request of Owner, provide a list of all subcontractors and suppliers of Contractor. Owner may request partial lien releases for all partial payments and a final lien release for the final payment to each subcontractor.
- B. Scheduling.** Owner shall give Contractor advance notice of anticipated starting date for Contract Work. Contractor shall start Work on the date agreed to by Owner and Contractor and shall complete the several portions and the whole of the Work herein described at such times as reasonably specified by the Owner in order to allow Owner to timely complete the Project. Contractor shall cooperate with Owner and other contractors hired by Owner to coordinate Work with other Contractors.
- C. Payment.** Contractor shall receive progress payments on a monthly basis for Work approved by Owner and all materials to be used on the Project which have been stored on site by Contractor. Contractor shall make applications for payment on a monthly basis by submitting a bill by the _____ day of the month (the fifth (5th) day of the month if not so stated). Applications for payment submitted by the Contractor shall indicate the percentage of completion of each portion of the Contractor's Work as of the end of the period covered by the application for payment. Contractor shall be paid for Work completed to date from Owner's last progress billing date. Owner shall withhold 5% retention from each progress payment. Retainage shall be paid within ___ days after the latest of the following: (i) Owner's approval of completion of the Work, (ii) close out of all paperwork required herein and (iii) receipt of required lien releases.

The Owner shall pay the approved amounts within _____ days (thirty (30) days if not so stated) of the date on which the application for payment is received.

Final payment for Work under this Contract shall be made within _____ days (thirty (30) days if not so stated) after Owner has approved the completion of the Work and Contractor has fulfilled each of its obligations under this Contract. As a prerequisite for any payment, Contractor shall provide, in a form satisfactory to Owner, partial lien releases, claim waivers and affidavits of payment from Contractor and its lower-tier subcontractors and suppliers of any tier, for the completed portions of Contractor's Work. Before issuance of the final payment, the Contractor shall submit evidence satisfactory to Owner that all payrolls, bills for materials and equipment, and all known indebtedness connected with the Contractor's Work have been satisfied. Contractor shall provide Owner with a signed lien release before receiving final payment.

Contractor shall be entitled to payment by Owner of all undisputed amounts. In the event that the Owner disputes an amount, the Owner may withhold fifty percent (50%) of the disputed amount. Owner shall provide a written explanation of the reason for the dispute with the payment.

Owner shall be entitled, but not required, to issue two-party checks in the name of the Contractor and any of Contractor's subcontractors or suppliers, union(s) for which Contractor's employees are members, any union trust fund, medical fund or pension fund for which Contractor's employees are members.

Contractor may invoice for materials delivered to the jobsite and receive payment as outlined above. Materials delivered to the site, and not installed, shall be paid at invoice cost. Contractor shall pay its own subcontractors and suppliers all sums owed them within ten (10)

days of receipt of payment from or on behalf of Owner. Contractor agrees that no assignment of any payment otherwise due under this Contract shall be effective without first securing the express approval of any assignee to the limitations contained in this subsection.

D. Change Orders. Owner may, without invalidating this Contract, order in writing extra Work or make changes by altering, adding to, or deducting from the Work and the Contract price and time shall be adjusted accordingly. All such Work shall be executed under the conditions hereof. All Change Orders shall be in writing and signed by the Owner and Contractor. The Owner shall not be liable for any additional Work performed by Contractor unless such additional Work has been incorporated into a Change Order. **NO ORAL INSTRUCTIONS AUTHORIZING A CHANGE IN THE WORK, ADJUSTMENT IN THE CONTRACT SUM, MAXIMUM CONTRACT SUM, OR ADJUSTMENT IN THE CONTRACT TIME SHALL BE VALID OR BINDING ON THE OWNER.**

If additional Work has been fully accepted by Owner, payment shall be made to Contractor with the next regular payment as provided herein. Contractor acknowledges that, unless expressly stated otherwise within a written Change Order, any change in the Contract Price and Time effected through a written Change Order shall constitute full and final payment and accord and satisfaction for any and all cost incurred (including, but not limited to, home office and field overhead and profit), labor performed, material and equipment furnished, and any delay, acceleration, or loss of efficiency associated with or arising out of the change in the Work.

E. Nature of Work. Contractor has conducted a full examination of all relevant plans and specifications and is not aware of any defects or mistakes in the applicable plans and specifications that would make the Work not buildable according to the applicable plans and specifications, for the Contract Price provided herein and in the time provided for herein. Contractor has satisfied itself as to the nature and location of the Work, the character, kind and quantity of material to be encountered, the character, kind and quantity of equipment needed, the location, conditions and other matters which can in any matter affect the Work under this Contract agreement and acknowledges that Contractor has had a reasonable opportunity to examine the site.

F. Contractor Employer. Contractor has the status of "employer" as defined by the Industrial Insurance, Workers' Compensation, Unemployment Compensation, Social Security, and other similar acts of the federal, state, and local government. Contractor shall withhold from its payroll applicable Social Security taxes, Workers' Compensation and Unemployment Compensation contributions and any other lawfully required withholding and pay the same; Owner shall be in no way liable as an employer of, or on account of, any employees of Contractor.

G. Permits & Taxes. Contractor shall obtain and pay for all permits, fees, and licenses necessary for the performance of this Contract and shall pay any and all federal, state, and local taxes, applicable to the Work to be performed under this Contract. Contractor shall also be responsible for payment of state sales/use taxes applicable to the Work of Contractor.

H. Contractor Property. Materials delivered by or for Contractor and intended to be incorporated into the construction hereunder shall remain on the jobsite and shall become property of Owner upon incorporation into the Work. Contractor may repossess any surplus materials remaining at the completion of the Contract; provided, Contractor shall not charge Owner for any repossessed materials. All scaffolding, apparatus, ways, works, tools, equipment, machinery, and plans brought upon the premises by Contractor shall remain

Contractor's property. It shall be Contractor's responsibility to unload, store, and protect its property to bear the risk of loss thereof.

Materials delivered by or for Contractor and intended to be incorporated into the construction hereunder shall remain on the site and shall become property of Owner upon incorporation into the Work, but Contractor may repossess any surplus materials remaining at the completion of the contract; provided, however, Contractor shall not charge Owner for any repossessed materials. All scaffolding, apparatus, ways, works, machinery, and plants brought upon the premises by Contractor shall remain Contractor's property. It shall be Contractor's responsibility to unload, store, and protect its materials, to bear the risk of loss thereof and to protect such material against loss until actually incorporated into the Work and until the Work is accepted.

I. Default and Takeover. Upon three (3) calendar days' written notice to Contractor, Owner may terminate this Contract in whole or in part for Owner's convenience and/or at its option. Contractor's remedy for such convenience or optional termination is limited to the following: (1) payment pursuant to the terms of this Contract for all Work properly performed prior to termination; (2) partial payment for lump sum items of Work on the basis of the percent complete of such items at the time of termination; and (3) Contractor's reasonable close-out costs. In no event shall Contractor be entitled to any compensation for loss of anticipated profits or unallocated overhead on Work not performed.

Contractor shall be in default of this Contract if it refuses or fails to supply enough properly-skilled workers or materials, refuses or fails to make prompt payment to subcontractors or suppliers of labor, materials or services, fails to correct, replace, or re-execute faulty or defective Work done or materials furnished, disregards the law, ordinances, rules, regulations or orders of any public authority having jurisdiction, files for bankruptcy, or materially breaches this Contract. If Contractor fails to correct the default and maintain the corrected condition within not less than three (3) working days of receipt of written notice of the default, then Owner, without prejudice to any rights or remedies otherwise available to it, shall have the right to terminate this Contract in writing and thereafter either perform the Work itself or obtain another Contractor to perform the Work. All of the costs incurred by Owner shall be charged to Contractor and Owner shall have the right to deduct such expenses from monies due or to become due Contractor. Contractor shall be liable for the payment of any expenses incurred by Owner in excess of the unpaid balance of the Contract Price.

In the event of an emergency including, but not limited to, the imminent potential damage to persons or property requires immediate repair Owner shall be entitled to conduct such repairs without providing advance written notice of the same to Contractor. Owner shall issue written notification to Contractor of such emergency repairs within five (5) days after making such repairs. Contractor shall be solely responsible for the cost of all such emergency repairs.

If Owner's termination for default is later deemed to be wrongful, without cause, or otherwise unjustified, the parties agree that the termination automatically converts to a termination for convenience and Contractor agrees that its remedies for such wrongful termination shall be limited to those provided in the termination for convenience.

If Contractor files or otherwise becomes subject to bankruptcy proceedings, Owner and Contractor agree that any delay attendant to the assumption or rejection of the Contract by the bankruptcy Trustee or a debtor-in-possession will be prejudicial to Owner. Consequently, Contractor, to minimize delay and to mitigate damages and/or other prejudice suffered by

Owner, hereby stipulates to a notice period of ten (10) calendar days for Owner's motion to require Trustee or debtor-in-possession to assume or reject the Contract.

J. Unit Price. In the event this Contract contains unit price items, it is understood and agreed that any quantities mentioned are approximations only and subject to change as required by the Contract or as ordered and directed by Owner.

K. Material Quality. Materials condemned by Owner as failing to conform to the Contract shall, upon notice from Owner, be immediately removed by Contractor. Failure of Owner to immediately condemn any Work or materials as installed shall not in any way waive Owner's right to object thereto to any subsequent time.

L. Job Damage. Damage caused by Contractor, its subcontractors or suppliers, or any subcontractor or supplier of any tier, to Work other than its own shall be reported immediately to Owner and Contractor shall be responsible for its repair. Damage caused by Owner to Work of Contractor shall be reported immediately to Contractor and Owner shall be responsible for its repair.

M. Safety. Contractor and its subcontractors shall take all reasonably necessary safety precautions pertaining to its Work and its Work performance, including compliance with applicable laws, ordinances, regulations and orders issued by a public authority, whether federal, state, local or other, OSHA (Federal Occupational Safety and Health Administration) / DOSH (Washington State Division of Occupational Safety and Health) / WISHA (Washington Industrial Safety and Health Act), and any safety measures requested by Contractor. Contractor shall at all times be responsible for providing a safe jobsite and be responsible for the Work performance and safety of all employees, personnel, equipment and materials within Contractor's or its subcontractors' care, custody or control. Contractor and its subcontractors shall furnish all required safety equipment for its Work and ensure all of their employees and subcontractors' employees have and wear personal protective equipment in compliance with applicable OSHA/DOSH/WISHA requirements.

Contractor certifies that it and its subcontractors are registered contractors. Contractor certifies that it and its subcontractors maintain a written Accident Prevention Plan and a Project-specific safety plan in compliance with applicable OSHA/DOSH/WISHA regulations. Contractor's Accident Prevention Plan should address subcontractor's role and responsibilities pertaining to safety on the Project, training and corrective action and be tailored to safety and health requirements for the Work involved. Contractor shall have and enforce a disciplinary action schedule in the event safety violations are discovered. When and as requested by Owner, Contractor shall provide information regarding safety matters.

Contractor shall promptly provide Owner with written notice of safety hazard(s) or violation(s) found on the Project or of any injury to its or its subcontractors' workers incurred on the Project.

Contractor agrees to defend, indemnify and hold Owner harmless from all OSHA/DOSH/WISHA claims, demands, proceedings, violations, penalties, assessments or fines that arise out of or relate to Contractor's failure to comply with any safety-related laws, ordinances, rules, regulations, orders or its obligations hereunder. Owner may charge against the sums otherwise owing to Contractor the Amount of the fine and the fees, costs and expenses incurred by Owner in the defense of the claims, citation and/or fine arising from or relating to the Contractor's above-referenced failure.

N. Housekeeping and Cleanup. Contractor shall regularly remove all refuse, waste and debris produced by its operation. Refuse shall not be permitted to accumulate to the extent that it interferes with free access to the Project or creates a safety hazard. Avoidance of safety hazards through good housekeeping is an important part of Contractor's obligations. In the event Contractor or its subcontractor fails or refuses to meet these requirements, Owner may remove refuse and charge all costs to the Subcontract, provided that Contractor has received twenty-four (24) hours or one (1) full working day, whichever is greater, prior written notice. In the event Owner determines emergency conditions exist, Owner may proceed as above without prior notice.

Contractor shall comply with all applicable hazardous waste regulations under federal, state or local laws. Contractor shall provide Owner with all Safety Data Sheets ("SDS") for any and all hazardous substances covered under all applicable laws before commencing Work, and all SDS shall comply with OSHA's Hazard Communication Standard. Contractor shall, prior to commencing Work, inform Owner of its intent to use any hazardous substances at the Project and shall continuously update Owner of any new hazardous substance brought to the Project during performance of the Work. Failure to comply with this paragraph may result in fines and damages being assessed to Contractor. Contractor shall defend, indemnify and hold Owner harmless from any and all costs and expenses, including attorneys' fees, arising from the use or discharge of any hazardous substance by Contractor at or off the Project site.

O. Release and Hold Harmless – Damage to Equipment. Contractor hereby releases, discharges and agrees to hold Owner harmless from any damage either to the Contractor's property or rented equipment which is caused in whole or in part by the negligence of Contractor, its agents, employees or subcontractors.

P. Insurance. Contractor shall obtain and keep in force during the term of this Contract and the applicable Statutes of Repose and Limitations period, commercial general liability insurance with dollar limits and coverage equal to, or greater than the types and amounts of coverage noted at the front of this Contract. Such insurance shall be "occurrence-based" and shall include contractual liability coverage applicable to the indemnity provisions of this Contract and "completed operations" coverage. Contractor shall furnish to Owner evidence of this insurance including the provision regarding notice of cancellation or reduction in coverage. Such evidence of insurance shall be in the form of an Insurance Certificate issued by an insurer satisfactory to Owner and shall provide for not less than thirty (30) days prior written notice to Owner of cancellation or reduction in coverage. In the event Contractor fails to maintain any and all insurance required by this Contract during the entire life of this Contract, Owner may at its option, and without waiver of other available remedies, purchase such insurance in the name of Contractor and deduct the cost of same from payments due Contractor.

Contractor shall provide insurance that: (1) names Owner as an additional insured for liability arising out of the Contractor's Work, including completed operations losses, without qualification, limitation or reservation; (2) is endorsed to be primary and noncontributory with any insurance maintained by Owner; (3) does not contain a "cross liability" or similar exclusion that would bar coverage for claims between or among insureds; (4) contains a severability of interest provision in favor of Owner; and (5) contains a waiver of subrogation against Owner. Before commencing work, Contractor shall provide a copy of the additional insured endorsement to Owner as evidence of additional insured status.

Owner makes no representations that the required minimum amount of insurance is adequate to protect Contractor. The procuring and/or carrying of insurance shall not limit Contractor's obligation or liability pursuant to this Contract or as a matter of law.

Q. Workers' Compensation. Contractor shall furnish to Owner evidence that its workers are covered by applicable workers' compensation coverage.

R. Subcontractors. Contractor shall, upon request of Owner, provide a list of all subcontractors and suppliers of Contractor. With regard to all subcontractors retained by the Contractor, the Contractor agrees (i) to be primarily responsible for any Work performed by such subcontractor and to ensure that such Work is timely completed in the manner required herein; (ii) to ensure that invoices submitted by subcontractor comply with the requirements for invoices submitted by Contractor to Owner; (iii) that Contractor shall be solely responsible to make any necessary repairs or to perform punch-list items caused by subcontractor's Work; and (iv) to ensure that subcontractor complies with all the obligations of Contractor set forth herein and to be primarily responsible for any non-compliance. Contractor shall be solely responsible for paying subcontractor any amounts due to it. Owner may request partial lien releases for all partial payments and a final lien release for the final payment to each subcontractor. Contractor agrees to release Owner and to hold Owner harmless from any and all claims by subcontractor for payment.

S. Disputes and Back Charges. In the event of a dispute between Owner and Contractor, Contractor agrees to proceed with the Work in accordance with the requirements of this Contract, pending settlement of the dispute.

T. Indemnification. To the fullest extent permitted by law, the Contractor shall defend, indemnify and hold harmless the Owner and its agents and employees from and against claims, damages, losses and expenses, including, but not limited to attorneys' and expert's fees, (collectively a "claim") arising out of or resulting from performance of the Contractor's Work under this Contract. Such obligation shall not be construed to negate, abridge, or otherwise reduce other rights or obligations of indemnity which would otherwise exist as to a party or person described in this paragraph.

Contractor's duty to indemnify Owner shall not apply to liability for damages arising out of claims caused by or resulting in whole from the negligence of Owner or its agents or employees. Contractor's duty to indemnify Owner for liability for damages arising out of claims caused by or resulting from the concurrent negligence of: (a) Owner, its agents or employees, and (b) Contractor, its agents, employees and lower-tier subcontractors or suppliers of any tier shall apply only to the extent of negligence of Contractor, its agents, employees and lower-tier subcontractors or supplier of any tier.

CONTRACTOR SPECIFICALLY AND EXPRESSLY WAIVES ANY IMMUNITY THAT MAY BE GRANTED IT UNDER THE WASHINGTON STATE INDUSTRIAL INSURANCE ACT, TITLE 51 RCW. FURTHER, THE INDEMNIFICATION OBLIGATION UNDER THIS CONTRACT SHALL NOT BE LIMITED IN ANY WAY BY ANY LIMITATION ON THE AMOUNT OR TYPE OF DAMAGES, COMPENSATION OR BENEFITS PAYABLE TO OR FOR ANY THIRD PARTY UNDER WORKERS' COMPENSATION ACTS, DISABILITY BENEFITS ACTS, OR OTHER EMPLOYEE BENEFITS ACTS PROVIDED CONTRACTOR'S WAIVER OF IMMUNITY BY THE PROVISIONS OF THIS PARAGRAPH EXTENDS ONLY TO CLAIMS AGAINST CONTRACTOR BY OWNER, AND DOES NOT INCLUDE, OR EXTEND TO, ANY CLAIMS BY CONTRACTOR'S EMPLOYEES DIRECTLY AGAINST CONTRACTOR.

Contractor's Initials _____

Contractor agrees that its defense and indemnity obligations to Owner under this Contract survive any limitation imposed by any statute of repose or limitation including but not limited to RCW 4.16.300, 4.16.310, or 4.16.326, and Contractor hereby waives any and all defenses under any statute of repose or limitations. Contractor further agrees that any statute of limitation on a claim by Owner pursuant to this provision shall not begin to run until Owner discovers that Contract has breached either its duty to defend or its duty to indemnify, whichever occurs first.

U. Warranty. The Contractor warrants to the Owner that materials and equipment furnished under the Contract will be of good quality and new, unless otherwise required or permitted by the Contract, that the Work of this Contract will be performed in a workmanlike manner and free from defects not inherent in the quality required or permitted, will comply with all applicable codes and regulations, will be consistent with industry standards, and that the Work will conform to the requirements of the Contract. This warranty shall be in addition to and not in limitation of any other warranty or remedy required by law or the Contract. This warranty shall extend for the longer of the period of (i) the warranty normally given by Contractor for the Work in its ordinary course of business, (ii) the warranty period set forth in the Quote or other documents sent to Owner, or (iii) one (1) year from the date of substantial completion of the Work or occupancy of the Project by Owner, whichever occurs first. The warranty shall not apply to any damage or loss to the Work occasioned by Owner's failure to perform ordinary and reasonable maintenance during the warranty period or any written notice of defects received after the one (1) year period. Owner shall promptly notify Contractor in writing of all warranty claims and allow Contractor reasonable access to the Project to correct or repair the Work.

V. Contract Controls. Except for the Scope of Work and Warranty provisions specifically incorporated herein by the Contract, any terms or conditions attached to or incorporated into Contractor's proposal, quote, or other document shall not apply to the Contract. The Contract shall be solely and exclusively governed by the terms and conditions set forth in the Contract and these Standard Contract General Conditions.

W. Wage and Other Payments. Contractor shall comply with all state and federal wage laws and, upon request, provide proof of the same to Owner. In addition, if Contractor's employees are members of a union, then Contractor shall pay when due all obligations due under the collective bargaining agreement or other agreement, including but not limited to, medical benefits, dental benefits, pension benefits and the like.

X. Notices. All notices, demands, requests, consents and approvals which may or are required to be given by any party to any other party hereunder shall be in writing and shall be deemed to have been duly given if delivered personally, sent by facsimile, emailed, sent by a nationally recognized overnight delivery service, or if mailed or deposited in the United States mail and sent by registered or certified mail, return receipt requested, postage prepaid to the address provided in this Contract or to such other address as either party hereto may from time-to-time designate in writing and deliver in a like manner. All notices shall be deemed complete upon actual receipt or refusal to accept delivery. Electronic transmission of any signed original document and retransmission of any signed electronic transmission shall be the same as delivery of an original document.

Y. Claims. As a condition precedent to any right to recover for any instances of interruption, disruption, extra work, additional work, changed work, delay, hindrance and/or

efficiency loss of any nature whatsoever in Contractor's Work (collectively "Impact"), believed by Contractor to be caused by the acts or omissions of Owner, Architect/Engineer or the employees or agents of any of them, Contractor must provide written notice to Owner in the manner required by this Contract within five (5) days after occurrence of the Impact. Such written notice shall identify the cause of the Impact, the party Contractor believes is responsible for the Impact, and a rough order of magnitude as to the extra cost and/or time resulting from the Impact. FAILURE OF CONTRACTOR TO PROVIDE TIMELY WRITTEN NOTICE, AS PROVIDED IN THIS PARAGRAPH, SHALL RESULT IN AN ABSOLUTE WAIVER AND FORFEITURE OF CONTRACTOR'S RIGHT TO RECOVER ANY ADDITIONAL COST OR TIME RESULTING FROM THE IMPACT.

In the event Contractor believes it is entitled to receive compensation and/or time due to damages from Impact(s), Contractor's Statement of Claim (setting forth in detail the entitlement and quantum basis for Contractor's claim with supporting data and/or the entitlement basis to support an extension of time) shall be delivered to Owner within fifteen (15) days of its Written Notice of Impact, or within sufficient time to allow Owner to comply with the notice and claim requirements of the Main Contract (whichever is sooner). FAILURE OF CONTRACTOR TO TIMELY PROVIDE ITS STATEMENT OF CLAIM FOR AN INCREASE IN THE CONTRACT AMOUNT OR FOR AN EXTENSION OF TIME SHALL RESULT IN AN ABSOLUTE WAIVER OF CONTRACTOR'S CLAIM AND ANY RIGHT TO RECOVER ADDITIONAL COST OR TIME RESULTING FROM THE IMPACT.

Owner does not waive the requirement for timely written notice and/or timely written submission of the Statement of Claim unless Owner's waiver is unequivocal, explicit, and in writing.

Z. Mediation. Claims, disputes, or other matters in controversy arising out of or related to this Contract, except those waived, shall be subject to mediation as a condition precedent to the institution of legal or equitable proceedings by either party. This requirement may be waived by Owner.

AA. Arbitration / Litigation. At Owner's sole option, all claims, disputes, and other matters in question between Contractor and Owner arising out of, or relating to, this Agreement shall be decided by arbitration in accordance with the Construction Industry Arbitration Rules of the American Arbitration Association then obtaining or by an arbitrator mutually agreed upon by the parties. In the event of arbitration, Contractor and Owner agree to be bound by the findings and award of such arbitration finally and without recourse to any court of law other than for the enforcement of the arbitrator's decision. If the Owner does not select Arbitration as the means of dispute resolution, all claims, disputes and other matters in question between Contractor and Owner arising out of, or relating to, this Agreement shall be decided by an action filed exclusively in the Superior Court of Whatcom County, Washington. The substantially prevailing party in any arbitration or litigation shall be entitled to an award of its attorneys' fees, costs and expert fees.

BB. Governing Law. This Agreement and the right of the parties hereto shall be governed by and construed in accordance with the laws of the State of Washington and the parties agree that in any such action venue shall lie exclusively in Whatcom County, Washington, regardless of where the Project is located. Both parties expressly waive their right to a jury trial.

CC. Amendment. No modification, termination or amendment of this Contract may be made except by written Contract signed by all parties.

DD. Waiver. Failure by Owner or Contractor to insist upon the strict performance of any covenant, duty agreement, or condition of this Contract or to exercise any right or remedy consequent upon a breach thereof shall not constitute a waiver of any such breach or any other covenant, agreement, term or condition. Any waiver must be expressly made in writing and signed by the waiving party.

EE. Severability. In case any one or more of the provisions contained in this Agreement shall, for any reason, be held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provision hereof, and this Agreement shall be construed as if such invalid, illegal or unenforceable provision had never been contained herein.

FF. Neutral Authorship. Each of the provisions of this Agreement has been reviewed and negotiated, and represents the combined work product of both parties hereto. No presumption which would interpret the provisions of this Agreement in favor of or against the party preparing the same shall be applicable in connection with the construction or interpretation of any of the provisions of this Agreement.

GG. Captions. The captions of this Contract are for convenience and reference only and in no way define, limit, or describe the scope or intent of this Contract.

HH. Entire Agreement. The entire agreement between the parties hereto is contained in this Agreement; and this Agreement supersedes all of their previous understandings and agreements, written and oral, with respect to this transaction, including any proposal for services. Owner shall not be liable to Contractor or to any third party for any representations, made by any person, concerning the Work or the terms of this Agreement, except to the extent that the same are expressed in this Agreement. No modification, termination or amendment of this Agreement may be made except by written agreement signed by both parties.



April 8, 2024 – Addendum #1

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)
Bid Form – 2024 Road Project

Bid submissions are due by 2:00pm on Wednesday, 4-10-24. Email bid submissions to tylera@pnwcivil.com.

Firm Name: Granite Construction Company

Bid Schedule – 2024 Road Project					
Item #	Description	Quantity	Unit	Unit Price	Total
Schedule A – Deer Run Lane					
A1.	Mobilization	1	LS	\$ 16,500.00	\$ 16,500.00
A2.	Temporary Traffic Control	1	LS	\$ 5,000.00	\$ 5,000.00
A3.	Temporary Erosion and Sediment Control	1	LS	\$ 2,500.00	\$ 2,500.00
A4.	Bituminous Grinding	1,100	SY	\$ 35.00	\$ 38,500.00
A5.	Pothole Repairs	79	SF	\$ 36.00	\$ 2,844.00
A6.	Shouldering – Crushed Surfacing Top Course	54	TONS	\$ 80.00	\$ 4,320.00
A7.	HMA Cl. ½-IN PG 64-22 – Repairs	113	TONS	\$ 175.00	\$ 19,775.00
A8.	HMA Cl. ½-IN PG 64-22 – Overlay	408	TONS	\$ 155.00	\$ 63,240.00
A9.	Asphalt Berm	170	LF	\$ 10.00	\$ 1,700.00
A10.	Raise Castings to Grade	10	EA	\$ 130.00	\$ 1,300.00
A11.	Minor Changes	1	EST.	\$10,000.00	\$10,000.00
Schedule A Subtotal					\$ 165,679.00
WSST @ 8.6%					\$ 14,248.39
Schedule A Total w/ WSST					\$ 179,927.39

Schedule B – Beaver Creek Bank Improvements					
B1.	Mobilization	1	LS	\$ 1,700.00	\$ 1,700.00
B2.	Temporary Traffic Control	1	LS	\$ 500.00	\$ 500.00
B3.	Temporary Erosion and Sediment Control	1	LS	\$ 1,500.00	\$ 1,500.00
B4.	Stream Diversion	1	LS	\$ 1,500.00	\$ 1,500.00
B5.	Wall Repair	1	LS	\$ 15,000.00	\$ 15,000.00



B6.	Restoration & Landscaping	1	LS	\$ 2,500.00	\$ 2,500.00
B7.	Minor Changes	1	EST.	\$5,000.00	\$5,000.00
	Schedule B Subtotal				\$ 27,700.00
	WSST @ 8.6%				\$ 2,382.20
	Schedule B Total w/ WSST				\$ 30,082.20

Schedule C – Culvert Replacements					
C1.	Mobilization	1	LS	\$ 39,000.00	\$ 39,000.00
C2.	Temporary Traffic Control	25	EA	\$ 500.00	\$ 12,500.00
C3.	Flagging	80	HRS	\$ 100.00	\$ 8,000.00
C4.	Culvert Locations	25	EA	\$ 550.00	\$ 13,750.00
C5.	12" Dia. Ductile Iron Pipe	85	LF	\$ 185.00	\$ 15,725.00
C6.	12" Dia. ADS N-12 Pipe	742	LF	\$ 130.00	\$ 96,460.00
C7.	18" Dia. ADS N-12 Pipe	588	LF	\$ 140.00	\$ 82,320.00
C8.	24" Dia. ADS N-12 Pipe	146	LF	\$ 155.00	\$ 22,630.00
C9.	Sawcutting	1,449	LF	\$ 2.00	\$ 2,898.00
C10.	ACP Trench Patch	3,279	SF	\$ 5.00	\$ 16,395.00
C11.	ACP Repairs	1,241	SF	\$ 9.00	\$ 11,169.00
C12.	Ditching Type 1 – Jute Matting	329	LF	\$ 10.00	\$ 3,290.00
C13.	Ditching Type 2 – 2x4 Quarry Spalls	282	LF	\$ 12.00	\$ 3,384.00
C14.	Type 1 Catch Basin w/ Vaned Frame & Grate	6	EA	\$ 2,000.00	\$ 12,000.00
C15.	Type 1L Catch Basin w/ Vaned Frame & Grate	1	EA	\$ 2,000.00	\$ 2,000.00
C16.	Sign Post Replacements	8	EA	\$ 300.00	\$ 2,400.00
C17.	Tree Removal – Less Than 12" Diam.	3	EA	\$ 150.00	\$ 450.00
C18.	Tree Removal – 12" to 24" Diam.	1	EA	\$ 150.00	\$ 150.00
C19.	Concrete Driveway Replacement	758	SF	\$ 12.00	\$ 9,096.00
C20.	CDF – Fill Existing 18" Dia. Pipe	112	LF	\$ 10.00	\$ 1,120.00
C21.	Utility Conflicts	1	EST.	\$15,000.00	\$15,000.00
C22.	Minor Changes	1	EST.	\$30,000.00	\$30,000.00
	Schedule C Subtotal				\$ 399,737.00
	WSST @ 8.6%				\$ 34,377.38
	Schedule C Total w/ WSST				\$ 434,114.38

Schedule D – Additive Alternate – Additional Culverts					
D1.	Mobilization	1	LS	\$ 10,000.00	\$ 10,000.00
D2.	Temporary Traffic Control	21	EA	\$ 500.00	\$ 10,500.00



D3.	Culvert Locations	21	EA	\$ 550.00	\$ 11,550.00
D4.	12" Dia. Solid Wall SDR17 HDPE Storm Sewer Pipe	200	LF	\$ 25.00	\$ 5,000.00
D5.	HDPE Pipe Anchors	6	EA	\$ 650.00	\$ 3,900.00
D6.	12" Dia. ADS N-12 Pipe	1,258	LF	\$ 100.00	\$ 125,800.00
D7.	18" Dia. ADS N-12 Pipe	210	LF	\$ 110.00	\$ 23,100.00
D8.	Sawcutting	1,344	LF	\$ 2.00	\$ 2,688.00
D9.	ACP Trench Patching	3,307	SF	\$ 5.00	\$ 16,535.00
D10.	ACP Repairs	230	SF	\$ 9.00	\$ 2,070.00
D11.	Ditching Type 1 – Jute Matting	110	LF	\$ 10.00	\$ 1,100.00
D12.	Ditching Type 2 – 2x4 Quarry Spalls	582	LF	\$ 12.00	\$ 6,984.00
D13.	Type 1 Catch Basin w/ Vaned Frame & Grate	6	EA	\$ 2,000.00	\$ 12,000.00
D14.	Sign Post Replacements	7	EA	\$ 300.00	\$ 2,100.00
D15.	Extruded Curb	20	LF	\$ 100.00	\$ 2,000.00
D16.	Tree Removal – Less Than 12" Diam.	15	EA	\$ 150.00	\$ 2,250.00
D17.	Tree Removal – 12" to 24" Diam.	1	EA	\$ 150.00	\$ 150.00
D18.	Concrete Driveway Replacement	320	SF	\$ 12.00	\$ 3,840.00
D19.	CDF – Fill Existing 12" Dia. Pipe	200	LF	\$ 10.00	\$ 2,000.00
D20.	CDF – Fill Existing 18" Dia. Pipe	537	LF	\$ 10.00	\$ 5,370.00
	Schedule D – Additive Alternate – Additional Culverts Subtotal				\$ 248,937.00
	WSST @ 8.6%				\$ 21,408.58
	Schedule D – Additive Alternate – Additional Culverts Total w/ WSST				\$ 270,345.58

Acknowledgement of Addendums: 1

By: 
 Signature of Authorized Person

Date: 4/10/2024

Print Name & Title: Lance Chambers, Construction Manager

Note: Submit proposed force account rates for labor and equipment with Bid Form.

GRANITE CONSTRUCTION COMPANY

CERTIFICATE OF SECRETARY

RESOLVED, that, effective January 1, 2024 through December 31, 2024, the individuals named on the attached Exhibit 1 are authorized to negotiate, execute and/or attest electronic and paper documents necessary for the conduct of the Company's affairs with respect to the submission and execution of construction project bids, bid proposals, bid addenda and all other bid-related documents prepared and submitted on behalf of the Company not to exceed \$75 million, relating to any and all domestic construction projects arising out of the Company's operations.

RESOLVED FURTHER, that, effective January 1, 2024 through December 31, 2024, the individuals named on the attached Exhibit 2 are authorized to negotiate, execute and/or attest electronic and paper documents necessary for the conduct of the Company's affairs with respect to the submission and execution of construction project bids, bid proposals, bid addenda and all other bid-related documents prepared and submitted on behalf of the Company in excess of \$75 million, relating to any and all domestic construction projects arising out of the Company's operations.

RESOLVED FURTHER, that, effective January 1, 2024 through December 31, 2024, the individuals named on the attached Exhibit 1 and Exhibit 2 are authorized to negotiate, execute and/or attest electronic and paper construction contract documents prepared and submitted on behalf of the Company relating to domestic construction projects arising out of the Company's operations.

RESOLVED FURTHER, that the authority provided for herein shall be in accordance with applicable policies, procedures, and limits of authority previously approved and the Granite Construction Incorporated Delegation of Authority and Policy then in effect.

I, M. Craig Hall, Secretary of GRANITE CONSTRUCTION COMPANY, a California corporation (the "Company"), do hereby certify that the following is a true and correct copy of resolutions duly adopted effective January 1, 2024 by a Unanimous Written Consent of the Board of Directors in accordance with the provisions of Article III, Section 9 of the Bylaws of the Company; that the Directors acting were duly and regularly elected; and that the resolutions adopted have not been repealed and are still in full force and effect:

Dated: January 1, 2024



M. Craig Hall



EXHIBIT 1

AUTHORIZED SIGNERS **Granite Construction Company** **Mountain Group** **Pacific Northwest Region**

AUTHORIZED SIGNERS

Michael Stein, VP Washington Region
Jason Halverson, Construction Manager
Paul Harding, SW WA/OR Washington Area Manager
Boudrey Smith, NW Washington Area Manager
Jeremy Deemer, Construction Manager
Travis Walken, Chief Estimator
Sonny Chavez, Regional Controller
Lance Chambers, Construction Manager
Nicholas Gerritsen, Construction Manager
Quinn Golden, Senior Project Manager
Ryan Olson, Senior Project Manager
Mark Ottele, Senior Project Manager
Blake Ambler, Senior Project Manager
Nick Lupo, Senior Project Manager
J. Peter Welch, Senior Estimator
Shane Berrett, Plants Manager

AUTHORIZED SIGNERS (Not to exceed \$25 million)

Jonathan Carpenter, Senior Estimator
James Prouty, Senior Estimator
Steve Schlimmer, Senior Estimator
Shane Picker, Senior Estimator
Steve Liikala, Senior Estimator

ATTESTORS

Michael Stein, VP Washington Region
Sonny Chavez, Region Controller
Paul Harding, SW WA/OR Area Manager
Boudrey J. Smith, NW Washington Area Manager
Jeremy Deemer, Construction Manager
Nicolas Gerritsen, Construction Manager
Jason Halverson, Construction Manager
Travis Walken, Chief Estimator
J. Peter Welch, Senior Estimator
Shane Berrett, Plants Manager
Brynna Bennett, Estimating Assistant
Amy Sorensen, Estimating Assistant
Caitie Kershaw, Office Administrator
Jonathan Carpenter, Senior Estimator
James Prouty, Senior Estimator
Steve Schlimmer, Senior Estimator
Shane Picker - Senior Estimator
Steve Liikala - Senior Estimator

EXHIBIT 2

AUTHORIZED SIGNERS
Granite Construction Company

AUTHORIZED SIGNERS

Kyle T. Larkin, President & CEO

Elizabeth L. Curtis, Executive Vice President

James A. Radich, Executive Vice President & Chief Operating Officer

Brian R. Dowd, Senior Vice President Group Operations

Michael G. Tatusko, Senior Vice President Group Operations

Bradley J. Williams, Senior Vice President Group Operations



April 5, 2024

SUDDEN VALLEY - Deer Run Lane Monument Preservation

Scope of Services: PowerTek Surveying will assist in locating and preserving the roadway centerline monuments for this project.

- **Locate and Tie-Out Existing Roadway Centerline Monuments**
- **Core & Reset or Raise to Surface after paving**

Estimate: _____ \$9,500 (NTE)

If you have any questions regarding our scope of work or need any additional information, please feel free to give us a call.

Sincerely,

Jeremy Disch

Jeremy Disch, PLS
Project Surveyor

PowerTek Surveying Rate Sheet 2024-2025

Rates for Survey Office Personnel	
Per Hour	Office Staff
\$55.00	Timekeeper
\$70.00	Office Manager
\$90.00	Survey Technician
\$105.00	AutoCad Technician
\$115.00	Senior AutoCad Technician
\$125.00	Survey Project Manager
\$135.00	Professional Land Surveyor

Survey Field Crew Non-Prevailing Wage Hourly Rates	
Per Hour	Field Staff
\$160.00	One-Man Crew
\$250.00	Two-Man Crew
\$350.00	Three-Man Crew

Survey Field Crew Prevailing Wage Hourly Rates	
Per Hour	Field Staff
\$225.00	One-Man Crew (Prevailing Wage)
\$350.00	Two-Man Crew (Prevailing Wage)
\$425.00	Three-Man Crew (Prevailing Wage)

*All mileage and maintenance is included rates

RECORDING FEES

**Subject to Fee Schedule at the time of Recording*

*In addition to County Fees Office Manager rate will be charged per hour for all recordings



April 8, 2024 – Addendum #1

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)
Bid Form – 2024 Road Project

Bid submissions are due by 2:00pm on Wednesday, 4-10-24. Email bid submissions to tylera@pnwcivil.com.

Firm Name: Western Refinery Services, Inc.

Bid Schedule – 2024 Road Project					
Item #	Description	Quantity	Unit	Unit Price	Total
Schedule A – Deer Run Lane					
A1.	Mobilization	1	LS	\$ 850.00	\$ 850.00
A2.	Temporary Traffic Control	1	LS	\$ 5,000.00	\$ 5,000.00
A3.	Temporary Erosion and Sediment Control	1	LS	\$ 800.00	\$ 800.00
A4.	Bituminous Grinding	1,100	SY	\$ 13.70	\$ 15,070.00
A5.	Pothole Repairs	79	SF	\$ 42.00	\$ 3,318.00
A6.	Shouldering – Crushed Surfacing Top Course	54	TONS	\$ 60.00	\$ 3,240.00
A7.	HMA Cl. ½-IN PG 64-22 – Repairs	113	TONS	\$ 139.00	\$ 15,707.00
A8.	HMA Cl. ½-IN PG 64-22 – Overlay	408	TONS	\$ 123.00	\$ 50,184.00
A9.	Asphalt Berm	170	LF	\$ 13.00	\$ 2,210.00
A10.	Raise Castings to Grade	10	EA	\$ 200.00	\$ 2,000.00
A11.	Minor Changes	1	EST.	\$10,000.00	\$10,000.00
Schedule A Subtotal					\$108,379.00
WSST @ 8.6%					\$ 9,320.59
Schedule A Total w/ WSST					\$117,699.59

Schedule B – Beaver Creek Bank Improvements					
B1.	Mobilization	1	LS	\$ 1,500.00	\$ 1,500.00
B2.	Temporary Traffic Control	1	LS	\$ 200.00	\$ 200.00
B3.	Temporary Erosion and Sediment Control	1	LS	\$ 500.00	\$ 500.00
B4.	Stream Diversion	1	LS	\$ 1,500.00	\$ 1,500.00
B5.	Wall Repair	1	LS	\$ 6,500.00	\$ 6,500.00



B6.	Restoration & Landscaping	1	LS	\$ 2,500.00	\$ 2,500.00
B7.	Minor Changes	1	EST.	\$5,000.00	\$5,000.00
	Schedule B Subtotal				\$ 17,700.00
	WSST @ 8.6%				\$ 1,522.20
	Schedule B Total w/ WSST				\$ 19,222.20

Schedule C – Culvert Replacements					
C1.	Mobilization	1	LS	\$ 6,500.00	\$ 6,500.00
C2.	Temporary Traffic Control	25	EA	\$ 300.00	\$ 7,500.00
C3.	Flagging	80	HRS	\$ 70.00	\$ 5,600.00
C4.	Culvert Locations	25	EA	\$ 1,000.00	\$ 25,000.00
C5.	12” Dia. Ductile Iron Pipe	85	LF	\$ 190.00	\$ 16,150.00
C6.	12” Dia. ADS N-12 Pipe	742	LF	\$ 130.00	\$ 96,460.00
C7.	18” Dia. ADS N-12 Pipe	588	LF	\$ 250.00	\$ 147,000.00
C8.	24” Dia. ADS N-12 Pipe	146	LF	\$ 250.00	\$ 36,500.00
C9.	Sawcutting	1,449	LF	\$ 5.00	\$ 7,245.00
C10.	ACP Trench Patch	3,279	SF	\$9.65	\$ 31,642.35
C11.	ACP Repairs	1,241	SF	\$9.55	\$ 11,851.55
C12.	Ditching Type 1 – Jute Matting	329	LF	\$ 20.00	\$ 6,580.00
C13.	Ditching Type 2 – 2x4 Quarry Spalls	282	LF	\$ 40.00	\$ 11,280.00
C14.	Type 1 Catch Basin w/ Vaned Frame & Grate	6	EA	\$ 1,100.00	\$ 6,600.00
C15.	Type 1L Catch Basin w/ Vaned Frame & Grate	1	EA	\$ 1,500.00	\$ 1,500.00
C16.	Sign Post Replacements	8	EA	\$ 250.00	\$ 2,000.00
C17.	Tree Removal – Less Than 12” Diam.	3	EA	\$ 250.00	\$ 750.00
C18.	Tree Removal – 12” to 24” Diam.	1	EA	\$ 1,500.00	\$ 1,500.00
C19.	Concrete Driveway Replacement	758	SF	\$ 12.00	\$ 9,096.00
C20.	CDF – Fill Existing 18” Dia. Pipe	112	LF	\$ 20.00	\$ 2,240.00
C21.	Utility Conflicts	1	EST.	\$15,000.00	\$15,000.00
C22.	Minor Changes	1	EST.	\$30,000.00	\$30,000.00
	Schedule C Subtotal				\$ 477,994.90
	WSST @ 8.6%				\$ 41,107.56
	Schedule C Total w/ WSST				\$ 519,102.46

Schedule D – Additive Alternate – Additional Culverts					
D1.	Mobilization	1	LS	\$ 500.00	\$ 500.00
D2.	Temporary Traffic Control	21	EA	\$ 300.00	\$ 6,300.00

PNW

SERVICES, INC.

D3.	Culvert Locations	21	EA	\$ 1,000.00	\$ 21,000.00
D4.	12" Dia. Solid Wall SDR17 HDPE Storm Sewer Pipe	200	LF	\$ 40.00	\$ 8,000.00
D5.	HDPE Pipe Anchors	6	EA	\$ 350.00	\$ 2,100.00
D6.	12" Dia. ADS N-12 Pipe	1,258	LF	\$ 125.00	\$ 157,250.00
D7.	18" Dia. ADS N-12 Pipe	210	LF	\$ 240.00	\$ 50,400.00
D8.	Sawcutting	1,344	LF	\$ 5.00	\$ 6,720.00
D9.	ACP Trench Patching	3,307	SF	\$ 9.65	\$ 31,912.55
D10.	ACP Repairs	230	SF	\$ 9.55	\$ 2,196.50
D11.	Ditching Type 1 – Jute Matting	110	LF	\$ 20.00	\$ 2,200.00
D12.	Ditching Type 2 – 2x4 Quarry Spalls	582	LF	\$ 40.00	\$ 23,280.00
D13.	Type 1 Catch Basin w/ Vaned Frame & Grate	6	EA	\$ 1,100.00	\$ 6,600.00
D14.	Sign Post Replacements	7	EA	\$ 250.00	\$ 1,750.00
D15.	Extruded Curb	20	LF	\$ 30.00	\$ 600.00
D16.	Tree Removal – Less Than 12" Diam.	15	EA	\$ 250.00	\$ 3,750.00
D17.	Tree Removal – 12" to 24" Diam.	1	EA	\$ 1,500.00	\$ 1,500.00
D18.	Concrete Driveway Replacement	320	SF	\$ 12.00	\$ 3,840.00
D19.	CDF – Fill Existing 12" Dia. Pipe	200	LF	\$ 20.00	\$ 4,000.00
D20.	CDF – Fill Existing 18" Dia. Pipe	537	LF	\$ 20.00	\$ 10,740.00
	Schedule D – Additive Alternate – Additional Culverts Subtotal				\$ 344,639.05
	WSST @ 8.6%				\$ 29,638.96
	Schedule D – Additive Alternate – Additional Culverts Total w/ WSST				\$ 374,278.01

Acknowledgement of Addendums: 1

By: 
Signature of Authorized Person

Date: 4/10/2024

Print Name & Title: Ryan Likkel, CEO

Note: Submit proposed force account rates for labor and equipment with Bid Form.



April 8, 2024

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)
Quote Request – 2024 Road Project
Bid Set March 18, 2024

Addendum #1 to the Bid Documents

- A. This Addendum shall be considered part of the bid documents for the above-mentioned project, and shall be incorporated integrally therewith. Where provisions of the following supplementary data differ from those of the original bid documents, this Addendum shall govern and take precedence.
- B. Bidders are hereby notified that they shall make any necessary adjustments in their estimates as a result of this Addendum. It will be understood that each bidder's proposal is submitted with full knowledge of all modifications and supplemental data specified herein.

Bid Form: A new bid form is attached, and shall be submitted by contractors. No changes except at the bottom there is an acknowledgement of addenda added.

Changes to Submittal Date: None

Changes to Drawings:

- Drawings – Schedule C & D
 - o Drawing C10 – All pipe trenches shall be backfilled with imported material. No native backfill will be allowed.

End of Addendum No. 1

Questions shall be directed to Tyler Andrews at tylera@pnwcivil.com or 360-739-2072.



April 8, 2024 – Addendum #1

Attn: Bidders

RE: Sudden Valley Community Association (SVCA)
Bid Form – 2024 Road Project

Bid submissions are due by 2:00pm on Wednesday, 4-10-24. Email bid submissions to tylera@pnwcivil.com.

Firm Name: Premium Services Inc

Bid Schedule – 2024 Road Project					
Item #	Description	Quantity	Unit	Unit Price	Total
Schedule A – Deer Run Lane					
A1.	Mobilization	1	LS	\$ 50,000.00	\$ 50,000.00
A2.	Temporary Traffic Control	1	LS	\$ 12,000.00	\$ 12,000.00
A3.	Temporary Erosion and Sediment Control	1	LS	\$ 1,000.00	\$ 1,000.00
A4.	Bituminous Grinding	1,100	SY	\$ 15.00	\$ 16,500.00
A5.	Pothole Repairs	79	SF	\$ 100.00	\$ 7,900.00
A6.	Shouldering – Crushed Surfacing Top Course	54	TONS	\$ 130.00	\$ 7,020.00
A7.	HMA Cl. ½-IN PG 64-22 – Repairs	113	TONS	\$ 200.00	\$ 22,600.00
A8.	HMA Cl. ½-IN PG 64-22 – Overlay	408	TONS	\$ 135.00	\$ 55,080.00
A9.	Asphalt Berm	170	LF	\$ 20.00	\$ 3,400.00
A10.	Raise Castings to Grade	10	EA	\$ 1,200.00	\$ 12,000.00
A11.	Minor Changes	1	EST.	\$10,000.00	\$10,000.00
Schedule A Subtotal					\$ 197,500.00
WSST @ 8.6%					\$ 16,985.00
Schedule A Total w/ WSST					\$ 214,485.00

Schedule B – Beaver Creek Bank Improvements					
Item #	Description	Quantity	Unit	Unit Price	Total
B1.	Mobilization	1	LS	\$ 2,000.00	\$ 2,000.00
B2.	Temporary Traffic Control	1	LS	\$ 2,000.00	\$ 2,000.00
B3.	Temporary Erosion and Sediment Control	1	LS	\$ 1,800.00	\$ 1,800.00
B4.	Stream Diversion	1	LS	\$ 1,400.00	\$ 1,400.00
B5.	Wall Repair	1	LS	\$ 8,000.00	\$ 8,000.00



B6.	Restoration & Landscaping	1	LS	\$ 7,500.00	\$ 7,500.00
B7.	Minor Changes	1	EST.	\$5,000.00	\$5,000.00
	Schedule B Subtotal				\$ 27,700.00
	WSST @ 8.6%				\$ 2,382.20
	Schedule B Total w/ WSST				\$ 30,082.20

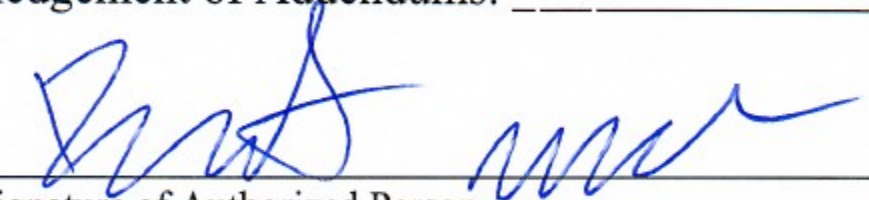
Schedule C – Culvert Replacements					
C1.	Mobilization	1	LS	\$ 20,000.00	\$ 20,000.00
C2.	Temporary Traffic Control	25	EA	\$ 200.00	\$ 5,000.00
C3.	Flagging	80	HRS	\$ 80.00	\$ 6,400.00
C4.	Culvert Locations	25	EA	\$ 800.00	\$ 20,000.00
C5.	12" Dia. Ductile Iron Pipe	85	LF	\$ 150.00	\$ 12,750.00
C6.	12" Dia. ADS N-12 Pipe	742	LF	\$ 100.00	\$ 74,200.00
C7.	18" Dia. ADS N-12 Pipe	588	LF	\$ 110.00	\$ 64,680.00
C8.	24" Dia. ADS N-12 Pipe	146	LF	\$ 125.00	\$ 18,250.00
C9.	Sawcutting	1,449	LF	\$ 3.00	\$ 4,347.00
C10.	ACP Trench Patch	3,279	SF	\$ 12.00	\$ 39,343.00
C11.	ACP Repairs	1,241	SF	\$ 15.00	\$ 18,615.00
C12.	Ditching Type 1 – Jute Matting	329	LF	\$ 30.00	\$ 9,870.00
C13.	Ditching Type 2 – 2x4 Quarry Spalls	282	LF	\$ 45.00	\$ 12,690.00
C14.	Type 1 Catch Basin w/ Vaned Frame & Grate	6	EA	\$ 1,300.00	\$ 7,800.00
C15.	Type 1L Catch Basin w/ Vaned Frame & Grate	1	EA	\$ 2,000.00	\$ 2,000.00
C16.	Sign Post Replacements	8	EA	\$ 250.00	\$ 2,000.00
C17.	Tree Removal – Less Than 12" Diam.	3	EA	\$ 600.00	\$ 1,800.00
C18.	Tree Removal – 12" to 24" Diam.	1	EA	\$ 2,000.00	\$ 2,000.00
C19.	Concrete Driveway Replacement	758	SF	\$ 35.00	\$ 26,530.00
C20.	CDF – Fill Existing 18" Dia. Pipe	112	LF	\$ 22.00	\$ 2,464.00
C21.	Utility Conflicts	1	EST.	\$15,000.00	\$15,000.00
C22.	Minor Changes	1	EST.	\$30,000.00	\$30,000.00
	Schedule C Subtotal				\$ 395,739.00
	WSST @ 8.6%				\$ 34,033.55
	Schedule C Total w/ WSST				\$ 429,772.55

Schedule D – Additive Alternate – Additional Culverts					
D1.	Mobilization	1	LS	\$ 1,000.00	\$ 1,000.00
D2.	Temporary Traffic Control	21	EA	\$ 200.00	\$ 4,200.00



D3.	Culvert Locations	21	EA	\$ 800.00	\$ 16,800.00
D4.	12" Dia. Solid Wall SDR17 HDPE Storm Sewer Pipe	200	LF	\$ 80.00	\$ 16,000.00
D5.	HDPE Pipe Anchors	6	EA	\$ 400.00	\$ 2,400.00
D6.	12" Dia. ADS N-12 Pipe	1,258	LF	\$ 100.00	\$ 125,800.00
D7.	18" Dia. ADS N-12 Pipe	210	LF	\$ 110.00	\$ 21,100.00
D8.	Sawcutting	1,344	LF	\$ 3.00	\$ 4,032.00
D9.	ACP Trench Patching	3,307	SF	\$ 12.00	\$ 39,684.00
D10.	ACP Repairs	230	SF	\$ 15.00	\$ 3,450.00
D11.	Ditching Type 1 – Jute Matting	110	LF	\$ 30.00	\$ 3,300.00
D12.	Ditching Type 2 – 2x4 Quarry Spalls	582	LF	\$ 45.00	\$ 26,190.00
D13.	Type 1 Catch Basin w/ Vaned Frame & Grate	6	EA	\$ 1,300.00	\$ 7,800.00
D14.	Sign Post Replacements	7	EA	\$ 250.00	\$ 1,750.00
D15.	Extruded Curb	20	LF	\$ 50.00	\$ 1,000.00
D16.	Tree Removal – Less Than 12" Diam.	15	EA	\$ 600.00	\$ 9,000.00
D17.	Tree Removal – 12" to 24" Diam.	1	EA	\$ 2,000.00	\$ 2,000.00
D18.	Concrete Driveway Replacement	320	SF	\$ 35.00	\$ 11,200.00
D19.	CDF – Fill Existing 12" Dia. Pipe	200	LF	\$ 20.00	\$ 4,000.00
D20.	CDF – Fill Existing 18" Dia. Pipe	537	LF	\$ 22.00	\$ 11,814.00
	Schedule D – Additive Alternate – Additional Culverts Subtotal				\$ 312,520.00
	WSST @ 8.6%				\$ 26,876.72
	Schedule D – Additive Alternate – Additional Culverts Total w/ WSST				\$ 339,396.72

Acknowledgement of Addendums: 1

By: 
 Signature of Authorized Person

Date: 4/10/24

Print Name & Title: Brent Moe President

Note: Submit proposed force account rates for labor and equipment with Bid Form.



Sudden Valley Community Association

360-734-6430

4 Clubhouse Circle Bellingham, WA 98229

www.suddenvalley.com

CAPITAL REQUEST MEMO

To: Sudden Valley Community Association (SVCA) Board of Directors (BOD)
From: Mike Brock, Maintenance & Facilities Manager
Date: April 25th, 2024
Subject: Capital Request – Adult Center Furnace and Water Heater Replacement

Purpose

To request contract award for replacing two furnaces and one tankless hot water heater at the Adult Center.

Background

The Adult Center is heated by two furnaces that were installed in 1993 and are listed on the reserve study to be replaced in 2024, with \$14,000 allocated for replacement.

Hot water in the Adult Center is supplied by one tankless hot water heater installed in 2007, and is also scheduled for replacement in 2024, with \$4000 allocated in the 2024 budget.

Analysis

Both of the furnaces and the tankless hot water system were evaluated, and it has been determined that they are at the end of their lifespan and should be replaced prior to this coming winter. Due to permitting requirements, service reliability, and cost, it is recommended to replace the units in conjunction with “like for like” systems. Five vendors were contacted to provide quotes for replacing the units:

Lynden Sheet Metal – Quoted \$12,048 plus tax

Marr’s Heating – Quoted \$13,570 plus tax

Angar Mechanical – Quoted \$13,899 plus tax

Barron Heating – Quoted \$16,254 plus tax

Harris – Quoted \$16,800 plus tax

Lynden Sheet Metal submitted the lowest quote at \$12,048 plus tax and is the preferred option. Included in their quote is the installation of a condensate pump on the tankless hot water heater to discharge condensation to an existing drain. This will provide longevity to the system, and it may be a requirement upon inspection. They were the only vendor to include this in their proposal. With tax included the total purchase price is \$13,108.22.

- Furnace Replacement: \$7,009.98
- Hot Water Heater Replacement: \$6,098.24



Sudden Valley Community Association

360-734-6430

4 Clubhouse Circle Bellingham, WA 98229

www.suddenvalley.com

Proposal

Approve contract award to Lynden Sheet Metal to replace two furnaces and one tankless hot water heater at the Adult Center in the amount of \$13,108.22

Motion 1

Move that the SVCA Board of Directors approve the allocation of \$13,108.22 from CRRRF and authorize the General Manager to execute SVCA's standard construction contract with Lynden Sheet Metal.

Board of Directors Approval

Recommended: _____ Not Recommended: _____ SVCA Finance Committee

Approved: _____ Not Approved: _____ SVCA Board of Directors

Signed: _____ Date: _____

Elected, SVCA Board President



LYNDEN SHEET METAL INC.

837 Evergreen Street - Lynden, WA 98264
(360) 354-3991 Phone - (360) 354-1219 Fax
www.LyndenSheetMetal.com
Contractor License #LYNDEI*206DM

Table with customer information: CUSTOMER NAME (SUDDEN VALLEY COMMUNITY ASSOCIATION), PHONE (360-778-9393 MIKE), PROPOSAL DATE (03/14/2024), JOB SITE ADDRESS (10 BARN VIEW DR), MAILING ADDRESS (4 CLUBHOUSE CIR BELLINGHAM, WA 98229), CITY (BELLINGHAM), STATE (WA), ZIP (98229), EMAIL ADDRESS (MIKE.BROCK@SUDDENVALLEY.COM)

PROPOSAL # 95207.Rev 2

BID SUMMARY

Table with 3 columns: Description, Pricing, CASH DISCOUNTED PRICE. Rows include: Install a LENNOX ML180 single stage downflow gas furnace, 80% efficient, 90,000 BTU East Wing... (\$3,238.00, \$3,075.00); Install a LENNOX ML180 single stage downflow gas furnace, 80% efficient, 110,000 BTU West Wing... (\$3,386.00, \$3,216.00); Whatcom County mechanical permit (\$104.00, \$98.00); Low Voltage wiring permits (\$57.00, \$54.00)

See next page for installation details, inclusions and exclusions

Table with 3 columns: Description, Price, CASH DISCOUNTED PRICE. Includes CASH DISCOUNT TERMS, Payment Terms, and Other Terms. Summary rows: Subtotal: \$6,785.00 (\$6,443.00); 8.60% Tax: \$583.51 (\$554.10); SYSTEM COST: \$7,368.51 (\$6,997.10); Less Deposit Received; REMAINING BALANCE: \$7,368.51 (\$6,997.10)

Table with 4 columns: Available Rebates, FROM, AMOUNT (\$0.00), Financed By, Approval Code, Total Cash Discount (\$371.41). Includes note: Rebate checks come directly from the utility upon your submission of forms and are subject to approval by the utility company.

Table with 2 main sections: ESTIMATOR'S SIGNATURE (Digitally signed by Kyle Kleindel, DATE, Kyle Kleindel) and BUYER'S SIGNATURE (I authorize work to be done as specified, I acknowledge that if I cancel, I may be subject to a restocking fee on equipment, DATE, Prices good for 15 days after bid date, 8.80% Tax = \$566.98, Total System Cost = \$7,009.98)

Thank you for allowing us the opportunity to quote this project for you. We look forward to working with you.

INSTALLATION DETAILS & GUARANTEES

CUSTOMER NAME: SUDDEN VALLEY COMMUNITY ASSOCIATION

95207.Rev 2

SCOPE OF WORK:

Two new Furnaces - Gas

INSTALLATION INCLUDES:

Install new Honeywell T6 PRO programmable thermostat with each new furnace.

Reconnect existing power to each furnace

Lennox Warranty on 80% efficient furnace is 10 year for the heat exchanger, 1 year on parts and labor when registered online within 90 days of installation.

Remove and dispose of existing furnaces.

Install new, like in kind, furnaces in same location as existing furnaces.

Furnaces to be natural gas

Use existing furnace bases.

Adapt existing return air ducts to the new furnaces, in the mechanical closets

Install new easily accessible filter racks in the mechanical room, on the return air side of each furnace.

Reconnect existing gas line with new gas flex connector at each furnace.

Reconnect existing furnace venting.

Leak check all new connections to gas, refrigeration or water lines of all equipment provided by Lynden Sheet Metal ; proper startup and setup of all equipment provided by Lynden Sheet Metal ; review system operation and location of manuals with owner of all equipment provided by Lynden Sheet Metal , if applicable.

ITEMS THAT ARE ADDITIONAL OR NOT INCLUDED, UNLESS SPECIFICALLY NOTED OTHERWISE:

Sales Tax is not included in the base price and will show up as a separate line item on this proposal .

Tax will be added to all prices based on the current rate .

Any carpentry, if needed

Moving of items to allow clear access to the installation site.

Removal or relocation of any landscaping or sprinkler heads to place any outdoor unit.

SPECIAL NOTES

Bid price does not include any electrical work.

Bid price does not include any carpentry or drywall work.

Bid price does not include any moving of items to gain clear access to the install area, such as vehicles, landscaping, sprinklers, boxes, furniture, decor, shelves, etc.

Bid price assumes the existing thermostat wiring is adequate and wire is free of any shorts. If wiring needs to be replaced, it will be completed on a time and material basis.

If static pressures are too high upon start up of equipment, it may be necessary to modify or add a return air duct or supply outlets. If needed this would be done on a time and material basis.

If blower fan or air flow volumes are higher than previous equipment it may be necessary to modify or add a return air duct or supply outlets. If needed this would be done on a time and material basis.

QUALITY INSTALLATION GUARANTEES

No Surprises: The price on the signed proposal is the price you pay for the approved scope of work. Any changes or additional work beyond the original scope of work, may result in additional charges.

Code Compliance: The installation will comply with all existing local codes.

Customer Respect: Our technicians will politely answer any questions or concerns you have regarding the installation. Our technicians will remove their shoes or put on shoe coverings and use drop clothes when working inside the home whenever possible. There are some instances where it is not practical to do so and we will always ask and let you know. Our technicians will leave the job site as neat as they found it.

DUE TO THE SHORTAGE OF RAW MATERIALS, PRICING OF EQUIPMENT AND PARTS ARE FLUCTUATING FREQUENTLY. UNTIL THIS LEVELS OUT, WE CAN ONLY HOLD OUR PRICING FOR 15 DAYS

Thank you for allowing us the opportunity to quote this project for you. We look forward to working with you.



837 Evergreen Street - Lynden, WA 98264
 (360) 354-3991 Phone - (360) 354-1219 Fax
 www.LyndenSheetMetal.com
 Contractor License #LYNDEI*206DM

CUSTOMER NAME SUDDEN VALLEY COMMUNITY ASSOCIATION			PHONE	PROPOSAL DATE 04/09/2024
JOB SITE ADDRESS 10 BARN VIEW DR			MAILING ADDRESS 4 CLUBHOUSE CIR BELLINGHAM, WA 98229	
CITY BELLINGHAM	STATE WA	ZIP 98229	EMAIL ADDRESS MIKE.BROCK@SUDDENVALLEY.COM	

PROPOSAL # 95353.Rev 1

BID SUMMARY Pricing

Scope of work:		
Remove and dispose of existing water heater.		
Supply and install Rinnai RE199iN 85% efficiency tankless water heater.		
Install new venting through roof and terminate.		
Install condensate neutralizing pump and pipe to existing drain.		
Reconfigure gas and water for new tankless.		
Connect to existing power supply.		
Cost for scope of work:		\$5,605.00

See next page for installation details, inclusions and exclusions

* All prices are based on payment with check or cash. If paying with credit card, a 3% surcharge would be assessed.		Price	
<p>Payment Terms: 50% deposit is required upon signing proposal. Full Payment due within 10 days of invoice billing. Any balance beyond 30 days will be assessed a late charge of 1.5% of the outstanding balance per month (18% per annum).</p> <p>Other Terms: Buyer hereby declares that they hold title to the property to which the merchandise is being installed and has legal authority to order the work as outlined. LSM retains title to all materials and property listed until payments have been made in full. Buyer agrees to pay any reasonable attorney and/or collection fees incurred by seller to secure payment.</p>		Subtotal:	\$5,605.00
		8.80% Tax:	\$493.24
		SYSTEM COST:	\$6,098.24
		Less Deposit Received:	
		REMAINING BALANCE	\$6,098.24

Available Rebates:	FROM	AMOUNT	Financed By:	
			Approval Code	

Rebate checks come directly from the utility upon your submission of forms and are subject to approval by the utility company.

ESTIMATOR'S SIGNATURE		BUYER'S SIGNATURE	
Digitally signed by Stuart James	DATE	I authorize work to be done as specified I acknowledge that if I cancel, I may be subject to a restocking fee on equipment Prices good for 15 days after bid date	DATE
<i>Stuart James</i>			

Thank you for allowing us the opportunity to quote this project for you. We look forward to working with you.

INSTALLATION DETAILS & GUARANTEES

CUSTOMER NAME: SUDDEN VALLEY COMMUNITY ASSOCIATION

95353.Rev 1

SCOPE OF WORK:

Installation of New Hot Water Tank (HWT)

INSTALLATION INCLUDES:

Install new on-demand water heater, located in mechanical closet.

Fuel Type is natural gas.

Reconnect existing gas line with new flex connector

Install new venting up through roof line.

Reconnect existing water lines.

Install new condensate line to pump and pipe to existing drain.

Remove and dispose of existing water heater.

Rinnai warranty is 15 year heat exchanger, 5 year parts, 1 year labor.

Leak check all new connections to gas, refrigeration or water lines of all equipment provided by Lynden Sheet Metal; proper startup and setup of all equipment provided by Lynden Sheet Metal; review system operation and location of manuals with owner of all equipment provided by Lynden Sheet Metal, if applicable.

ITEMS THAT ARE ADDITIONAL OR NOT INCLUDED, UNLESS SPECIFICALLY NOTED OTHERWISE:

Sales Tax is not included in the base price and will show up as a separate line item on this proposal.

Tax will be added to all prices based on the current rate.

Any carpentry, if needed

Moving of items to allow clear access to the installation site.

Removal or relocation of any landscaping or sprinkler heads to place any outdoor unit.

SPECIAL NOTES

Bid price does not include any electrical work.

Bid price does not include any carpentry or drywall work.

Bid price does not include any moving of items to gain clear access to the install area, such as landscaping, sprinklers, boxes, shelves, etc.

LSM cannot warranty connections into existing plumbing as we cannot guarantee the condition of it.

QUALITY INSTALLATION GUARANTEES

No Surprises: The price on the signed proposal is the price you pay for the approved scope of work. Any changes or additional work beyond the original scope of work, may result in additional charges.

Code Compliance: The installation will comply with all existing local codes.

Customer Respect: Our technicians will politely answer any questions or concerns you have regarding the installation. Our technicians will remove their shoes or put on shoe coverings and use drop clothes when working inside the home whenever possible. There are some instances where it is not practical to do so and we will always ask and let you know. Our technicians will leave the job site as neat as they found it.

DUE TO THE SHORTAGE OF RAW MATERIALS, PRICING OF EQUIPMENT AND PARTS ARE FLUCTUATING FREQUENTLY. UNTIL THIS LEVELS OUT, WE CAN ONLY HOLD OUR PRICING FOR 15 DAYS

Thank you for allowing us the opportunity to quote this project for you. We look forward to working with you.



BILL TO

Mike Brock
 10 Barn View Drive
 Bellingham, WA 98229 USA

ESTIMATE 53034962	ESTIMATE DATE Mar 11, 2024
-----------------------------	--------------------------------------

JOB ADDRESS

Mike Brock
 10 Barn View Drive
 Bellingham, WA 98229 USA

Job: 52955177

TASK	DESCRIPTION	QTY	PRICE	TOTAL
1	<p>Gas Furnace Installation Standard Practice (How the work gets done matters! Ask us to see the Marr's Standards Manual)</p> <ul style="list-style-type: none"> Flooring or furniture shall be covered using drop cloths as needed Marr's technicians shall wear boot covers inside your home Sheet metal fittings shall be precision designed in CAD and custom fabricated Ductwork and duct fittings shall be airtight per code Furnace shall be set with proper slope Furnace venting shall be run per Marr's standard and code Static pressure measurement and delivery CFM shall be set Start-up and commissioning checklist shall be performed on every Marr's Installation Final walkthrough with you will go over all operating questions <p>Have more system questions? Your sales professional is happy to return to your home after the installation to review everything with you! </p>	1.00	\$0.00	\$0.00
2	<p>FREE! Marr's Advantage Plan Membership</p> <ul style="list-style-type: none"> Preventative maintenance performed at optimal time of year 15% parts and labor discounts Priority service No overtime charges! Discounted Diagnostic Analysis Full Equipment reporting and testing 	1.00	\$0.00	\$0.00

3	Basic Mechanical Permit City/county 1 pc. Equipment	2.00	\$119.00	\$238.00
	<ul style="list-style-type: none"> • Scheduling inspection is the responsibility of the homeowner • Inspection arrival times vary based on county or municipality • Schedule for most inspections will require homeowner to grant access to inspector 			

4	Honeywell T-4 Thermostat TH4110U2005 (1h/1c model)	2.00	\$0.00	\$0.00
	<ul style="list-style-type: none"> • Compatible with all 24V 1H 1C HVAC systems • customizable scheduling • Digital display • 5 year parts warranty with pro installation 			

5	American Standard Ameristar Series Gas Furnace 80% Efficient 1-stage x-13 Motor Model Group: A801X 4 Ton System Warranty: 1 yr. labor 10 yr. parts 20 yr. heat exchanger (see Warranty terms)	1.00	\$4,917.00	\$4,917.00
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6	American Standard Ameristar Series Gas Furnace 80% Efficient 1-stage x-13 Motor Model Group: A801X 2-1/2 Ton System Warranty: 1 yr. labor 10 yr. parts 20 yr. heat exchanger (see Warranty terms)	1.00	\$4,696.00	\$4,696.00
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POTENTIAL SAVINGS	\$0.00
SUB-TOTAL	\$9,851.00
TAX	\$847.19
TOTAL	\$10,698.19
EST. FINANCING	\$141.22

Thank you for choosing Marr's Heating & Air Conditioning

CUSTOMER AUTHORIZATION

Warranty: All materials, parts and equipment are warrantied by the manufacturers' or the suppliers' written certification only. Warranties listed above are guidelines, but the Manufacturer warranty certification is the only true way to know what warranty equipment and/or materials will carry. Equipment used in a commercial application for example will typically only have a 1 yr. warranty once the equipment is registered. All labor performed by Marr's Heating & Air Conditioning inc (Marr's) is warrantied for a term of 1 year from the installation date. Marr's makes no other warranties, express or implied, and it's agents or technicians are not authorized to make such warranties on behalf of the Company. No warranty is expressed or implied on problems or comfort issues caused by existing equipment or materials, i.e. wires, pipes, ductwork, etc. The Marr's material and labor warranty does not cover damage to equipment caused by water, electrical power surges, abuse, neglect, misuse or acts of God.

Registration: New equipment must be registered by purchaser to obtain full manufacturer warranty. Marr's will try to assist you in registration, but registration and verification of registration is the responsibility of the purchaser

Payments Options, Terms, & Financing: Cash, Check, or Credit Card: Marr's Heating and Air Conditioning inc requires a 50% down payment, with final 50% payment due upon the day of installation. All accounts with an outstanding balance will be

charged 2.0% monthly interest. All accounts with an outstanding balance after 30 days may be turned over to an outside collections agency and/or subject to other legal actions. Purchaser will be responsible for any and all legal or collection fees associated with an outstanding balance.

Exclusions: Carpentry, Cutting, patching, sheet-rock or painting is excluded from any and all work performed by Marr's Heating and Air Conditioning inc unless explicitly stated in the contract of services. Clearing the work area is the responsibility of the purchaser and shall be done before the installation. Unless explicitly included in the contract of services, any electrical circuit changes or modifications are not included.

Comfort: Marr's Heating and Air Conditioning inc does not express or imply that multi-story homes will be able to maintain a consistent temperature between floors without a Marr's prescribed addition of zoning in some capacity. Ductless heating and cooling systems are zonal by nature and Marr's does not express or imply that a ductless system in any capacity will be able to keep any rooms conditioned beyond the room in which the indoor unit is located. Marr's does not express or imply that air conditioning or heating systems will be able to maintain comfortable indoor temperatures in extreme temperatures, with extreme as defined by any temperature outside of the designated local ACCA design temperatures. Marr's does not express or imply that equipment which is sized for the future addition of air sealing or insulation upgrades will be able to maintain comfortable indoor temperatures. Marr's does not express or imply that the heating and cooling load calculation for equipment sizing is 100% accurate due to the amount of variability between structures, construction types, and climate variations.

Equipment substitutions: The equipment quoted meets 2022 efficiency standards. Marr's reserve the right to substitute equipment made for the new 2023 efficiency standards which may state a lower efficiency, but will in fact be of equal or greater efficiency (will deliver more heating or cooling per watt) than the equipment quoted.

Hazardous Materials: Asbestos and other hazardous materials, visible or unforeseen, which may be distributed during the proposed scope of work, shall be the sole responsibility of the customer.

Contractor registration no. MARRSHA070B7

This offer is valid for a period of 7 Days. Marr's will make every effort to hold costs down. However, if upon delivery, the manufacturer has increased their price, then this additional increase will be reflected in the purchaser's final invoice.

PROPOSALS WITHOUT SITE VISIT: Any proposal given without a site visit (i.e. preliminary quotes, sales events, home shows, etc.) is to be considered preliminary and is subject to pending site visit with a final design consultation and an updated contract of services.

NOTICE OF INTENT TO FILE LABOR AND/OR MATERIAL LIEN: TO PURCHASER: Please take note that Marr's Heating and Air Conditioning inc will furnish materials, and/or equipment in the amount and of the value set forth on the face hereof, and/or will furnish labor at the value set forth on the face hereof, which will be used to improve the real property set forth under LOCATION on the face hereof, and that a LIEN MAY BE CLAIMED FOR ALL MATERIALS, SUPPLIES, EQUIPMENT OR LABOR FURNISHED:

All work will be completed in a workman like manner according to standard Company practices. Any pre-existing or unforeseen electrical, ductwork or venting issues could result in a change order above and beyond the proposal price and will only be executed upon written orders by customer and Marr's representative.

Cancellations: If customer cancels the job, customer will be responsible for paying for expenses incurred by Marr's at the rate of \$150 per hr. for administration and/or labor plus the cost of any materials that are not recoverable i.e. special duct fabrication, special order equipment, permits, restock fees, etc.

Sign here

Date



BILL TO

Mike Brock
 10 Barn View Drive
 Bellingham, WA 98229 USA

ESTIMATE 53041376	ESTIMATE DATE Mar 11, 2024
-----------------------------	--------------------------------------

JOB ADDRESS

Mike Brock
 10 Barn View Drive
 Bellingham, WA 98229 USA

Job: 52955177

TASK	DESCRIPTION	QTY	PRICE	TOTAL
1	Basic Mechanical Permit City/county 1 pc. Equipment	1.00	\$119.00	\$119.00
	<ul style="list-style-type: none"> Scheduling inspection is the responsibility of the homeowner Inspection arrival times vary based on county or municipality Schedule for most inspections will require homeowner to grant access to inspector 			
2	NORITZ Tankless Water Heater Natural Gas Model #: N0931M Input BTUs: 250,000 Btu/h Max. Output BTUs: 210,000 Btu/h	1.00	\$3,600.00	\$3,600.00

POTENTIAL SAVINGS	\$0.00
SUB-TOTAL	\$3,719.00
TAX	\$319.83
TOTAL	\$4,038.83
EST. FINANCING	\$53.31

Thank you for choosing Marr's Heating & Air Conditioning

CUSTOMER AUTHORIZATION

Warranty: All materials, parts and equipment are warranted by the manufacturers' or the suppliers' written certification only. Warranties listed above are guidelines, but the Manufacturer warranty certification is the only true way to know what warranty equipment and/or materials will carry. Equipment used in a commercial application for example will typically only have a 1 yr. warranty once the equipment is registered. All labor performed by Marr's Heating & Air Conditioning inc (Marr's) is warranted for a term of 1 year from the installation date. Marr's makes no other warranties, express or implied,

and it's agents or technicians are not authorized to make such warranties on behalf of the Company. No warranty is expressed or implied on problems or comfort issues caused by existing equipment or materials, i.e. wires, pipes, ductwork, etc. The Marr's material and labor warranty does not cover damage to equipment caused by water, electrical power surges, abuse, neglect, misuse or acts of God.

Registration: New equipment must be registered by purchaser to obtain full manufacturer warranty. Marr's will try to assist you in registration, but registration and verification of registration is the responsibility of the purchaser

Payments Options, Terms, & Financing: Cash, Check, or Credit Card: Marr's Heating and Air Conditioning inc requires a 50% down payment, with final 50% payment due upon the day of installation. All accounts with an outstanding balance will be charged 2.0% monthly interest. All accounts with an outstanding balance after 30 days may be turned over to an outside collections agency and/or subject to other legal actions. Purchaser will be responsible for any and all legal or collection fees associated with an outstanding balance.

Exclusions: Carpentry, Cutting, patching, sheet-rock or painting is excluded from any and all work performed by Marr's Heating and Air Conditioning inc unless explicitly stated in the contract of services. Clearing the work area is the responsibility of the purchaser and shall be done before the installation. Unless explicitly included in the contract of services, any electrical circuit changes or modifications are not included.

Comfort: Marr's Heating and Air Conditioning inc does not express or imply that multi-story homes will be able to maintain a consistent temperature between floors without a Marr's prescribed addition of zoning in some capacity. Ductless heating and cooling systems are zonal by nature and Marr's does not express or imply that a ductless system in any capacity will be able to keep any rooms conditioned beyond the room in which the indoor unit is located. Marr's does not express or imply that air conditioning or heating systems will be able to maintain comfortable indoor temperatures in extreme temperatures, with extreme as defined by any temperature outside of the designated local ACCA design temperatures. Marr's does not express or imply that equipment which is sized for the future addition of air sealing or insulation upgrades will be able to maintain comfortable indoor temperatures. Marr's does not express or imply that the heating and cooling load calculation for equipment sizing is 100% accurate due to the amount of variability between structures, construction types, and climate variations.

Equipment substitutions: The equipment quoted meets 2022 efficiency standards. Marr's reserve the right to substitute equipment made for the new 2023 efficiency standards which may state a lower efficiency, but will in fact be of equal or greater efficiency (will deliver more heating or cooling per watt) than the equipment quoted.

Hazardous Materials: Asbestos and other hazardous materials, visible or unforeseen, which may be distributed during the proposed scope of work, shall be the sole responsibility of the customer.

Contractor registration no. MARRSHA070B7

This offer is valid for a period of 7 Days. Marr's will make every effort to hold costs down. However, if upon delivery, the manufacturer has increased their price, then this additional increase will be reflected in the purchaser's final invoice.

PROPOSALS WITHOUT SITE VISIT: Any proposal given without a site visit (i.e. preliminary quotes, sales events, home shows, etc.) is to be considered preliminary and is subject to pending site visit with a final design consultation and an updated contract of services.

NOTICE OF INTENT TO FILE LABOR AND/OR MATERIAL LIEN: TO PURCHASER: Please take note that Marr's Heating and Air Conditioning inc will furnish materials, and/or equipment in the amount and of the value set forth on the face hereof, and/or will furnish labor at the value set forth on the face hereof, which will be used to improve the real property set forth under LOCATION on the face hereof, and that a LIEN MAY BE CLAIMED FOR ALL MATERIALS, SUPPLIES, EQUIPMENT OR LABOR FURNISHED:

All work will be completed in a workman like manner according to standard Company practices. Any pre-existing or unforeseen electrical, ductwork or venting issues could result in a change order above and beyond the proposal price and will only be executed upon written orders by customer and Marr's representative.

Cancellations: If customer cancels the job, customer will be responsible for paying for expenses incurred by Marr's at the rate of \$150 per hr. for administration and/or labor plus the cost of any materials that are not recoverable i.e. special duct fabrication, special order equipment, permits, restock fees, etc.

Sign here

Date



6920 Salashan Pkwy, A-102
 PO Box 2708
 Ferndale WA 98248
 Email: aaronp@andgar.com

Office: (360) 366-9900 ext. 128
 Fax: (360) 366-5800
 Cell: (360) 815-2680
<http://www.andgar.com>

Proposal

To: Sudden Valley Community Association Attn: Mike Brock	Phone: (360) 778-2223	Date: 03/12/2024
	Job Name/Location: Replace non-condensing tankless water heater and 2 furnaces/10 Barn View Dr. Bellingham, WA. 98229	
	Fax:	Email: mike.brock@suddenvalley.com

Cost to replace 2 furnaces and 1 tankless water heater with like and kind is: **\$13,899.00.00 plus tax.**

Price includes:

- 1 – RunTru 80% single stage 100K furnace (made by Trane).
- 1 – RunTru 80% single stage 80K furnace (made by Trane).
- 2 – Downflow furnace vent kits.
- 2 – Ductwork transitions.
- 2 – Honeywell touchscreen programable thermostats.
- 1 – Rinnai RE 199 MBH non-condensing tankless water heater.
- All necessary proprietary venting for the tankless water heater.
- All necessary installation material for both furnaces and tankless water heater.
- All necessary Tankless water heater installation labor (Plumbers).
- All necessary furnace installation labor (Commercial Retrofit).
- Proper disposal of old units.
- Mechanical and low volt permits.

Please call if you have any questions.

Thank you!

General Exclusions Unless Noted Otherwise:

Fire/smoke dampers above amount noted in inclusions; Carpentry work (cutting, patching & framing); Electrical, Roofing (cutting, patching, & reinforcements); Engineering; State & local taxes; Wall & ceiling access doors; Fire suppression & fire alarm; Overtime & odd working hours; Bonds; Concrete work (install, cutting & patching); Plumbing; Painting; Temporary services/ utility connection & consumption costs; Rated &/or non-rated shafts & enclosures; Louvered doors & or door louvers; Equipment service platform; Supply & install fire suppression gas solenoid valve; Install & final connection of owner supplied equipment; Testing & abatement of hazardous materials; Ceiling, ceiling tile & grid removal & replacement; Life Safety main tie off for installers to hook into; Alarm systems & interlock (security & fire); Structural review; Any conditions in existing building that Building & Code Department may require to be upgraded or changed; NREC review, stamp and/or third party special inspection; Curb leveling; Permits; Pollution Control Insurance

Terms as specified in contract or: 35% down; Monthly Billings; Net 30 days from invoice.

Note: If non-contributory/primary named additional insured is required, our insurance company requires forms CG 0001 and CG 76 35.

All material is guaranteed to be as specified. All work to be completed in a professional manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry fire, tornado, and other necessary insurance. Our workers are fully covered by Worker's Compensation Insurance.

Authorized Signature: *Aaron Pies*

Aaron Pies

Note: This proposal may be withdrawn by us if not accepted within 10 days.

Acceptance of Proposal -The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature: _____

Date of Acceptance: _____



5100 Pacific Hwy #103, Ferndale WA 98248 Phone (800) 328-7774 (360) 676-1131 <https://barronheating.com>

BILL TO

Sudden Valley Community Association
 4 Clubhouse Circle
 Bellingham, WA 98229 USA

ESTIMATE 218586325	ESTIMATE DATE Apr 04, 2024
------------------------------	--------------------------------------

JOB ADDRESS

Library/Adult Center / 10 Barnview Court
 10 Barnview Court
 Bellingham, WA 98229 USA

Job: 215480717

TASK	DESCRIPTION	QTY	PRICE	TOTAL
SUMMARY	Thank you for choosing Barron Heating & Air Conditioning Our Mission: Improving Lives	1.00	\$0.00	\$0.00
RB-3.0-H5	<p>Furnish and install a closeout 80% Furnace Only. Final price includes all necessary equipment, materials, travel, layout and permit(s) for your project.</p> <p><u>What To Expect During Your System Install</u></p> <ol style="list-style-type: none"> HVAC Commercial Superintendent Layout: Each of our superintendents carries a wealth of industry knowledge and experience. They all understand codes , system configurations, and quality installation practices. Project Planning: Our project coordinators will analyze every aspect of the job in preparation to ensure your installation will be performed at the highest level possible. Staging: Our warehouse team will stage your job and make sure all equipment and materials are ready for your installation. We only use certified AHRI matchups, so you know you are getting what you paid for. Installation Day: Our Installation Teams have received the highest level of performance installation training. System Commissioning: System Performance Verification: After every installation, our technicians perform this step to make sure your new system is performing properly and to its fullest potential. Finishing Touches: CONGRATULATIONS! You have received a Barron Heating & Air Conditioning HVAC System which will provide you with years of comfort, performance, and efficiency. Our goal is to continue a long-term relationship with you and your business. 	2.00	\$5,792.00	\$11,584.00

Labor Warranty: 1-year workmanship guarantee with Barron

WORK NOT INCLUDED BY BARRON

--Any work regarding: wall, building envelope, roofing, exterior wall, alterations, patches, insulation, painting, finish work/relocation of security cameras and signage changes if required.

--Engineering of or for Economizer/DOAS/Outside Air System, if required by AHJ (Authority Having Jurisdiction) (if required, can be obtained at additional cost)

--Mechanical Engineering Fees/Design (if required, can be obtained at additional cost)

--Electrical Engineering Fees/Design (if required, can be obtained at additional cost)

--Structural Engineering Fees/Design (if required, can be obtained at additional cost)

--Mechanical/Electrical/Structural Plan Review Fees/Design (if required, can be obtained at additional cost)

--Smoke/Fire dampers (if required, can be obtained at additional cost)

--Third party commissioning (if required, can be obtained at additional cost)

--Balancing of existing duct system (if required, can be obtained at additional cost)

S-ELE-370 (EIL.01.50)	Electrical reconnect existing air handler or electric furnace (same size circuit, with circuit extension or adjustment)	1.00	\$505.00	\$505.00
PRM-RB-CLOUT	Closeout Discount for last years models	1.00	\$-1,385.00	\$-1,385.00
PRM-RB-CLOUT	Closeout Discount for last years models	1.00	\$-834.00	\$-834.00
RB-NPE-240S	Navien Tankless (Non-Recirculating Model) 3-4 Bathroom	1.00	\$6,384.00	\$6,384.00
ML180DF110E60C- EQP	Downflow Furnace - Single Stage - Fixed Speed ECM Motor <ul style="list-style-type: none">• Capacity: 5 Ton - 110k BTU• Efficiency Rating: 80%• 21"W x 33"H x 27.75"D• Liquid Propane or Natural Gas	1.00	\$0.00	\$0.00
Lennox ML180DF110E60C				
EL280DF090E48B- EQP	Downflow Furnace - Two Stage - Fixed Speed ECM Motor <ul style="list-style-type: none">• Capacity: 4 Ton - 90k BTU	1.00	\$0.00	\$0.00

- Efficiency Rating: 80%
- 17.5"W x 33"H x 27.75"D
- Liquid Propane or Natural Gas

Lennox EL280DF090E48B

TH6210U2001-EQP	HONEYWELL 2H/1C T6 Pro Thermostat	2.00	\$0.00	\$0.00
	<ul style="list-style-type: none"> • 7 day programmable or non-programmable • Up to 2 Heat / 1 Cool heat pump and 1 Heat / 1 Cool conventional • Battery or hardwired • Large, clear backlit digital display 			

Honeywell TH6210U2001

NPE-240S-EQP	<ul style="list-style-type: none"> • Condensing tankless water heater - natural gas or liquid propane • Capacity: 8.7 GPM 199k BTU • Efficiency: 99% • 17"W x 28.875"H x 12"D 	1.00	\$0.00	\$0.00
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NAVIEN AMERICA INC NPE-240S

EXX-1000-EQP	<p>WARRANTIES</p> <p>Barron Heating provides a 1 year Parts and Labor Warranty. No warranties expressed or implied on existing venting/mechanical/ductwork systems.</p> <p>Payment to be made as follows: 50% DEPOSIT, BALANCE DUE ON COMPLETION</p>	1.00	\$0.00	\$0.00
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SUB-TOTAL	\$16,254.00
TAX	\$1,430.35
TOTAL	\$17,684.35

Thank you for choosing Barron. We sincerely appreciate your business and hope that we exceeded your expectations.

Barron Heating provides a 1-year Parts and Labor Warranty.

No warranty expressed or implied on existing system and materials (i.e., ductwork, wiring, piping, etc.)

This invoice is agreed and acknowledged. Payment is to be made as follows: 50% DEPOSIT due upon acceptance with the BALANCE UPON COMPLETION. A service fee will be charged for any returned checks, and a financing charge of 1% per month shall be applied for overdue amounts. [Pay Now](#)

NOTE: All Estimates subject to a pre-install Layout. Changes to Estimate at Owner approval and expense. The expiration date of Barron Heating's Contractor Registration No. BARROHA179D7: October 23, 2024.

This estimate shall expire if not accepted within 30 days of estimate date.

[Terms & Conditions](#)

CUSTOMER AUTHORIZATION

This invoice is agreed and acknowledged. Payment is due upon receipt. A service fee will be charged for any returned checks, and a financing charge of 1% per month shall be applied for overdue amounts.

Did you know Barron offers a variety of energy solutions? From Energy Monitoring Services to Solar by Barron, our team can help you understand AND lower your energy costs.

Call our office or talk to your Barron technician for more information.

Barron Authorized Signature: _____ Date: _____

The expiration date of Barron Heating's Contractor Registration No. BARROHA179D7: October 23, 2024.

Sign here

Date

SUDDEN VALLEY COMMUNITY ASSOCIATION



10 BARNVIEW DR FURNACE REPLACEMENT W/HOT WATER TANKLESS OPTIONS

Date: 4/5/24

Proposal Number:

Q-03413

Prepared for:

Sudden Valley Community Association
4 Clubhouse Circle
Bellingham, WA 98229

Prepared by:

Tim Stewart
tstewart@harriscompany.com
3604108045

Prepared By	Prepared For	Agreement Location
Harris Pacific Northwest, LLC 3436 Airport Drive Bellingham, Washington 98226 3604108045	Sudden Valley Community Association 4 Clubhouse Circle Bellingham, WA 98229	Sudden Valley Community Association 10 Barnview Dr. Bellingham, WA 98229

WE ARE PLEASED TO SUBMIT OUR PROPOSAL TO PERFORM THE FOLLOWING:

SCOPE OF WORK:

FURNACE REPLACEMENTS AND HOT WATER TANKLESS OPTIONS FOR LIBRARY/ADULT CENTER BUILDING 10 BARNVIEW DR.

Install two new downflow 80% furnaces. Adapter new furnaces to existing ductwork, venting, gas pipe and electrical. Existing thermostats and wiring will be reused for the new furnace control. Existing furnaces have filters in the return duct work with the only access through the furnace blower cabinet. New furnace configuration doesn't allow for easy access through the blower cabinet to access the filters . I have included in the proposal replacement of the return air grill with a 2" filter grill for new furnace filter location.

INCLUDED IN PROPOSAL:

- 1-115kbtu Downflow Furnace
- 1-90kbtu Downflow Furnace
- 2-Warm air pipe connection to the existing venting
- 2-Electrical disconnection and reconnection to furnace
- 2-Return Air Grill replacement with filter grills
- 2-Start-up and Operation testing of new furnaces

OUR PRICE FOR THIS PROPOSAL IS

\$11,500.00+WSST

HOT WATER DEMAND OPTION A & B

OPTION A NORTIZ (84%) LIKE FOR LIKE

Option A is to replace on-demand hot water heater with like for like Noritz equipment with a single pipe venting. Unit is to reconnect to existing venting, inlet water, hot water supply and gas supply. Noritz on-demand heater is 84% efficient. Gas consumption ranges from 16,000 BTU/h to 199,900 BTU/h with water flow rates from 0.5 gpm up to 9.8 gpm.

HOT WATER OPTION A PRICE FOR THIS PROPOSAL IS

\$5,300.00+WSST X _____

OPTION B NAVIEN HIGH (95%)EFFICENCY

Option B is to replace on-demand hot water heater with like in kind Navien equipment with dual PVC venting. Unit can't reconnect to existing venting because the unit is higher efficiency and more condensation will be present. Navien 95% also recommends taking the combustion air from the same pressure point as the exhaust venting. Proposal includes the replacement of venting system. Navien unit would reconnect to existing water inlet, hot water supply line and gas supply.

HOT WATER OPTION B PRICE FOR THIS PROPOSAL IS

\$7,100.00+WSST X _____

EXCLUSIONS:

- Costs for expediting critical materials
- Work outside of proposed scope related or not to existing conditions
- Premium pay for afterhours and weekend or holiday labor not already outlined as part of this proposal
- Electrical modifications, upgrades, and low voltage electrical not already outlined as part of this proposal
- Fire, life, and safety



EXPIRES ON: 5/5/2024

PAYMENT TERMS: Net 30

Upon execution as provided below, this agreement, including the following pages attached hereto (collectively, the "Agreement"), shall become a binding and enforceable agreement against both parties hereto. Customer, by execution of this Agreement, acknowledges that it has reviewed and understands the attached terms and conditions and has the authority to enter into this Agreement.

Contractor

Customer

Tim Stewart
Signature (Authorized Representative)

Signature (Authorized Representative)

Tim Stewart
Name (Print / Type)

Name (Print / Type)

(360)410-8045
Phone

Title

04-08-24
Date

Date / PO#

Project Agreement Terms and Conditions

The following terms and conditions are incorporated into and a part of the agreement between Contractor and Customer (the "Agreement"):

1. Customer shall permit Contractor free and timely access to areas and equipment and allow Contractor to start and stop the equipment as necessary to perform required services. All planned work under this Agreement will be performed during the Contractor's normal working hours.
2. Contractor warrants that the workmanship hereunder shall be free from defects for thirty (30) days from date of installation. If any replacement part or item of equipment proves defective, Contractor will extend to Customer the benefits of any warranty Contractor has received from the manufacturer. Removal and reinstallation of any equipment or materials repaired or replaced under a manufacturer's warranty will be at Customer's expense and at the rates in effect. CONTRACTOR MAKES NO OTHER WARRANTIES, EXCEPT AS DESCRIBED HEREIN, AND EXPRESSLY DISCLAIMS ALL OTHER WARRANTIES WHETHER EXPRESS, IMPLIED OR STATUTORY, INCLUDING THE WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE.
3. Contractor may invoice Customer on a monthly basis. Customer will promptly pay invoices within thirty (30) days of receipt. Should a payment become thirty (30) days or more delinquent, Contractor may stop all work under this Agreement without notice and/or cancel this Agreement, and the entire Agreement amount shall become due and payable immediately without notice or demand. In addition, if Contractor does not receive payment of a properly submitted invoice within thirty (30) days, Customer shall accrue a late charge on the balance outstanding at the lesser of (a) 1 1/2% per month of (b) the highest rate allowed by law, in each case compounded monthly to the extent allowed by law.
4. Any alteration to, or deviation from, this Agreement involving extra work, cost of materials or labor will become an extra charge (fixed price amount to be negotiated or on a time-and-materials basis at Contractor's rates then in effect) over the sum stated in this Agreement.
5. In the event Contractor must commence legal action in order to recover any amount payable or owed to Contractor under this Agreement, Customer shall pay Contractor all court costs and attorneys' fees incurred by Contractor.
6. In the event of a breach by Contractor of the terms of this Agreement, including without limitation Section 2, or in the event Customer incurs any liability in connection with the rendering of services by Contractor, Customer's sole remedy against Contractor shall be for Contractor to re-perform the services in accordance with the warranty or, if such services cannot be re-performed or such re-performance does not cure the breach or the liability, to refund to Customer the amount paid to Contractor under this Agreement, up to Customer's direct damages caused by such breach or liability. Notwithstanding the foregoing, in no event shall the liability of Contractor in connection with any products or services, whether by reason of breach of contract, tort (including without limitation negligence), statute or otherwise exceed the amount of fees paid by Customer to Contractor for those products or services. Further, in no event shall Contractor have any liability for loss of profits, loss of business, indirect, incidental, consequential, special, punitive, indirect or exemplary damages, even if Contractor has been advised of the possibility of such damages. In furtherance and not in limitation of the foregoing, Contractor shall not be liable in respect of any decisions made by Customer as a result of Contractor's services. Any action, regardless of form, against the Contractor relating to this Agreement, or the breach thereof, must be commenced within one (1) year from the date of the work.
7. Contractor shall not be liable for any delay, loss, damage or detention caused by acts or circumstances beyond its control including, without limitation, unavailability of machinery, equipment or materials, delay of carriers, strikes, including those by Contractor's employees, lockouts, civil or military authority, priority regulations, insurrection or riot, war, acts of terrorism, action of the elements, forces of nature, or by any cause beyond its control.
8. To the fullest extent permitted by law, Customer shall indemnify and hold harmless Contractor, its agent and employees from and against all claims, liabilities, damages, losses and expenses (including but not limited to attorneys' fees) arising out of or resulting from the performance of work hereunder or any act or omission arising out of or related to this Agreement, provided that such claim, damage, loss or expense is caused in whole or in part by an active or passive act or omission of Customer, anyone directly or indirectly employed by Customer, or anyone for whose acts Customer may be liable, regardless of whether it is caused in part by the negligence of Contractor. Further, and notwithstanding the preceding sentence, Contractor shall be held harmless and shall not be liable to Customer for any claims, liabilities, damages, losses and expenses related to mold or to the creation of mold at Customer's location(s) and shall have no obligation to treat, identify or remove such mold.
9. Customer shall make available to Contractor's personnel all pertinent Material Safety Data Sheets (MSDS) pursuant to OSHA'S Hazard Communication Standard Regulations.
10. Contractor's obligation under this proposal and any subsequent contract does not include the identification, abatement or removal of asbestos, mold or any other toxic or hazardous substances, hazardous wastes or hazardous materials. In the event such substances, wastes and materials are encountered, Contractor shall have the right thereafter to suspend its work until such substances, wastes or materials and the resultant hazards are removed. The time for completion of the work shall be extended to the extent caused by the suspension and the contract price equitably adjusted. As previously provided, Contractor shall be held harmless and shall not be liable for any claims, liabilities, damages, losses and expenses related to such substances, wastes and materials, including the failure to identify or notify Customer of such substances, wastes and materials.
11. This Agreement is between Contractor and Customer alone, and neither intends that there be any third-party beneficiaries to this Agreement. Without limiting the generality of the foregoing, by entering into this Agreement and providing services on Customer's behalf, Contractor is not assuming any duty or obligation to any of Customer's employees, vendors, clients, subcontractors, agents, shareholders, partners or members. Customer agrees to indemnify and hold Contractor harmless from and against any and all liabilities, losses, claims, costs, expenses and damages (including without limitation reasonable attorneys' fees) incurred by Contractor

by reason of a claim brought against Contractor by any of Customer's employees, vendors, clients, subcontractors, agents, shareholders, partners or members with respect to the services provided by Contractor on Customer's behalf.

12. Each of the parties hereto is an independent contractor and neither party is, nor shall be considered to be, an agent, distributor or representative of the other. Neither party shall act or present itself, directly or indirectly, as an agent of the other or in any manner assume or create any obligation on behalf of, or in the name of, the other.

13. These terms and conditions, together with the attached documents, constitutes the entire agreement and understanding among the parties hereto and supersedes any and all prior agreements and understandings, oral or written, relating to the subject matter hereof. It sets forth the terms for the provision of any products or services Contractor may provide Customer, whether in connection with the particular engagement that is identified as the subject of this Agreement or otherwise, unless and until a written instrument is signed by an authorized representative of Contractor agreeing to different terms. This Agreement shall not be assignable by Customer and Contractor without the express prior written consent of either party. This Agreement shall be governed by and construed in accordance with the laws of the State of the Contractor's headquarters are located, without giving effect to that State's conflicts of laws principles.

14. If paying with credit card a 3% surcharge will be added to total project price.



Sudden Valley Community Association
 360-734-6430
 4 Clubhouse Circle Bellingham, WA 98229
 www.suddenvalley.com

APPROVAL REQUEST MEMO

To: Sudden Valley Community Association Board of Directors
From: Jo Anne Jensen, General Manager
Date: April 25, 2024
Subject: Approval of Lynden Tribune Contract Amendment

Purpose

To receive approval for the proposed ninth amendment to SVCA’s agreement with the Lynden Tribune for editing and printing the Sudden Valley Views.

Background

SVCA Bylaws Section 10., requires that the Association retain an independent contractor as Editor for the monthly newsletter, Sudden Valley Views, to ensure that the Views continues to be “a vehicle for an uncensored community exchange of opinions, ideas, and positions of any and all matters of community interest.” SVCA has contracted with the Lynden Tribune since at least 2008 for editing, printing, and distributing our newsletter. Typically, an amendment is signed each year to extend the length of the agreement and adjust other terms as needed. In the proposed amendment, Compensation and Printing Prices have remained the same as last year. The amendment has additional language identifying monthly charges for graphic design and mail prep; these charges are not new but were not previously included in the language of the agreement.

The Lynden Tribune has edited and printed the Views professionally and reliably during my tenure at SVCA. I find them to be flexible easy to work with. Long-established procedures help to make our work with the Tribune very efficient. Additionally, there are not many suppliers of this type of service in our area.

Proposal

I recommend that the SVCA Board of Directors approve the proposed amendment to the 2008 agreement with the Lynden Tribune and authorize the General Manager to execute the contract on their behalf.

Motion

Move that the SVCA Board of Directors approve the proposed amendment to the 2008 agreement with the Lynden Tribune and authorize the General Manager to execute the contract on their behalf.

Approvals

Approved: _____ Not Approved: _____ SVCA Board of Directors

Signed: _____ Date: _____

Keith McLean, SVCA Board President

**NINTH AMENDMENT
TO
AGREEMENT**

This Ninth Amendment to Agreement is dated as of the ___ day of _____, 2024, by and between SUDDEN VALLEY COMMUNITY ASSOCIATION (referred to herein as “SVCA”) and LEWIS PUBLISHING CO., INC. (referred to herein as “EDITOR”).

RECITALS

- A. SVCA and EDITOR entered into that certain Agreement dated April 25, 2008, (the “Agreement”) wherein SVCA agreed to engage the services of the EDITOR and the EDITOR agreed to serve SVCA.
- B. SVCA and EDITOR amended the Agreement per the First Amendment to Agreement dated June 7, 2010, and the Second Amendment to Agreement dated April 5, 2012, and the Third Amendment to the Agreement dated May 5, 2014, and the Fourth Amendment to the Agreement dated August 4, 2014, and the Fifth Amendment to the Agreement dated May 3, 2016, and the Sixth Amendment to the Agreement dated April 20, 2018, and the Seventh Amendment to the Agreement dated June 2, 2020, and the Eighth Amendment to the Agreement dated May 7, 2022.
- C. SVCA and EDITOR have now elected to extend the term and amend the Agreement as provided below.

NOW, THEREFORE, in consideration of the covenants, terms and conditions set forth herein, SVCA and EDITOR hereby agree to the following amendments to the Agreement:

AGREEMENT

1. Term.

The term of the Agreement is hereby extended to April 30, 2026. Any party to the Agreement may request an additional extension of the term by notifying the other party of their extension request no later than February 28, 2026.

2. Meetings.

SVCA is currently holding two board meetings a month which the EDITOR is currently covering, as well as the Annual General Meeting and any other Special General Meetings.

Further, the parties recognize there are various committee meetings held monthly that may require the SV Views editor to be in attendance or, at a minimum, require a written report/minutes to be submitted by the committee chairman/secretary to the SV Views editor for review and editing. The parties agree said written report/minutes will appear in the Views.

3. Website and Electronic Copy of Views

The EDITOR will send an electronic copy of the Views each month to admin@suddenvalley.com and asm@suddenvalley.com for posting on the Sudden Valley website immediately upon publication of each issue of the Views.

4. Compensation: A retainer in the amount of twenty seven thousand dollars (\$27,000.00) per annum, which shall be payable in equal monthly installments of two thousand two hundred fifty dollars (\$2,250.00) prior to the thirtieth (30th) day of each month. Should the advertising sales fall below \$2,000.00 for an issue the Editor's monthly fee will be reduced to \$1,850.00.

5. Printing Prices: The EDITOR will charge the following printing prices for **3,750** copies of the Views. The Views is printed on 35-inch, 32 lb., 72 Electrabrite newsprint. Price includes four (4) common pages of full color.

12-page.....	\$ 980	\$ 90 Additional M's (thousands)
16-page.....	\$1,070	\$110 Additional M's (thousands)

Both parties agree that the additional printing cost to add four (4) common pages of full color in each issue of the SV Views is **\$120** per issue. This price will not change during the term of this amendment and is up to the discretion of the SVCA if they wish to do so.

NOTE: The EDITOR will do everything in its power to hold these printing prices firm for the length of this contract. However, it does reserve the right to adjust the pricing due to the volatile nature of the tariff issue currently taking place in the United States newsprint industry. If it needs to adjust pricing the increase will only be for the increased cost of the newsprint, not the other costs associated with the Views press run.

6. Graphics and Mailing Prices: The EDITOR will charge the following Graphic Design layout and Mail Prep/Addressing prices for the Sudden Valley Views each month.

Graphic Design (12 pages).....	\$700
Graphic Design (16 pages).....	\$850
Mail Prep/Addressing.....	\$310

7. No Other Amendments.

Except as herein amended, all the terms, conditions, provisions and covenants of the Agreement are hereby ratified and confirmed and shall remain in full force and effect. All capitalized terms not otherwise defined herein shall have the meaning given to them in the Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Ninth Amendment as of the day and year first written above.

EDITOR:
Lewis Publishing Co., Inc.

SVCA:
Sudden Valley Community Association

By: Michael D. Lewis
Its: President

By: Jo Anne Jensen
Its: General Manager



Sudden Valley Community Association
360-734-6430
4 Clubhouse Circle Bellingham, WA 98229
www.suddenvalley.com

APPROVAL REQUEST MEMO

To: Sudden Valley Community Association Board of Directors
From: Jo Anne Jensen, General Manager
Date: April 25, 2024
Subject: Approval to De-fund the Austin Creek Erosion Repair Project

Purpose

To receive approval to de-obligate funding for the proposed Austin Creek Erosion Repair project.

Background

In January of 2023, the Board approved funding for the design and permitting phase of the Austin Creek Erosion Repair project (see attached memo dated 1/12/23). At that time, a budget of \$32,571 was estimated for the preliminary work. Unfortunately, when meetings were held with Whatcom County to review the proposed project, they determined that a hydraulic analysis would be needed. This unexpected requirement increased the cost of the design and permitting phase of the project significantly. PNW arranged to have a different engineering firm work on the project to reduce costs somewhat, but it would still require an additional \$18,514 for the phase 1 work, increasing the total to \$51,085.

Before asking the Board of Directors to approve the additional funding, I asked for feedback from Golf Course management and PNW regarding the value that this project would return to SVCA relative to its increasing cost. The responses I received are attached. In summary, Golf Course management felt that while the erosion damage was noticeable, repairing it was not worth the estimated cost of more than \$120,000. PNW confirmed that Whatcom County did not require SVCA to complete the repair and recommended that the project be put into an ongoing monitoring status:

“If SVCA had unlimited resources it could be fixed now, but with limited resources it seems using these funds for other items this year makes sense. Officially defer the project for 2024, keep under monitoring, and then budget into 2025. Repeat the same process in 2025 in case erosion starts again.”

Following PNW’s recommendation to keep the project in the CRRRF Capital Budget will ensure that it is evaluated each year. Also, bridge inspections are scheduled every two years, creating another checkpoint on Austin Creek erosion.

Proposal

I recommend that the SVCA Board of Directors approve moving the remaining \$22,868 previously obligated for capital project 9723.04 to the general CRRRF fund, effectively placing the Austin Creek Erosion Repair project in a monitoring status.

Motion

Move that the SVCA Board of Directors approve moving the unspent \$22,868 previously obligated for capital project 9723.04 to the general CRRRF fund, effectively placing the Austin Creek Erosion Repair project in a monitoring status.

Approvals

Approved: _____ Not Approved: _____ SVCA Board of Directors

Signed: _____ Date: _____

Keith McLean, SVCA Board President



Sudden Valley Community Association

360-734-6430

4 Clubhouse Circle Bellingham, WA 98229

www.suddenvalley.com

CAPITAL REQUEST MEMO

To: Sudden Valley Community Association Board of Directors
From: Jo Anne Jensen, General Manager
Date: January 12, 2023
Subject: Capital Request – Golf: Austin Creek – Repair

Purpose

To request funding approval for design and permitting.

Background

During the November 2021 flood event, SVCA had erosion develop at 4 locations on Austin Creek through the golf course.

- Community Garden Cart Trail Erosion
- 7th Green Bridge Armoring
- 9th Green Slope Erosion
- 17th Green Bridge Armoring

SVCA's 2023 budget includes a line item to repair these locations.

Analysis

SVCA is proposing to start the engineering and permitting for these repairs. This work will include:

- Evaluation of each location and a design developed for restoration.
- Habitat Conservation Assessment (HCA).
- Permitting for the above scopes of work. Permits assumed are:
 - o Whatcom County Shorelines Substantial Development Permit
 - o WDFW Hydraulic Project Approval
- Construction is proposed for summer 2023 during the Lake Whatcom Watershed construction window.

Proposal

Authorize engineering and permitting to begin per PNW Services, Inc. attached Proposal dated 1-9-23.

Request

Request \$32,571.00 to begin engineering and design.



Sudden Valley Community Association

360-734-6430

4 Clubhouse Circle Bellingham, WA 98229

www.suddenvalley.com

Motion

Move that the Board of Directors approve the allocation of \$32,571.00 from CRRRF for the engineering and permitting work for the proposed Austin Creek repairs.

Board of Directors Approval

Approved: _____ Not Approved: _____SVCA Board of Directors



January 9, 2023

Sudden Valley Community Association
Attn: Jo Anne Jensen
4 Clubhouse Circle
Bellingham, WA 98229

RE: Project Scope Letter
Golf: Austin Creek – Repair

PNW is providing this overall project scope letter to SVCA for streambank restoration to Austin Creek at 4 locations through the golf course. Overall scope of work assumes:

- Project:
 - o Erosion has occurred at 4 locations on Austin Creek through the golf course:
 - Community Garden Cart Trail Erosion
 - 7th Green Bridge Armoring
 - 9th Green Slope Erosion
 - 17th Green Bridge Armoring
 - o Each location will be evaluated with a design completed for restoration.

- Design, Permitting, & Contractor Bids
 - o Coordinate with permit agencies.
 - o Cost evaluations for repair.
 - o Engineering & Permitting.
 - o Prepare bid package, issue to contractors, and bid evaluation with recommendation to SVCA.

Design, Permitting, Contractor Bids	
- Impact Design – Design & Permitting Assistance	\$14,100.00
- Habitat Conservation Assessment Allowance	\$8,000.00
- Permit Fees Allowance	\$4,000.00
- PNW Services, Inc. – Oversight & Bid Package	\$3,510.00
Contingency at 10%	\$2,961.00
Total – Design, Permitting, Contractor Bids	\$32,571.00

Please let me know if you have any questions, or if you would like any further information.

Sincerely,

Tyler Andrews
President



Sudden Valley Community Association
Golf Course Streambank Restoration Projects

December 16, 2022

Tyler Andrews
PNW Services, Inc.
PO Box 30498
Bellingham, WA 98228
360-739-2072

Thank you for the opportunity to submit a proposal to provide engineering and permitting assistance for (4) separate streambank restoration and armoring projects at the Sudden Valley Golf Course. Most of these projects appear to be in the shorelines jurisdiction of Austin Creek and all will require a Hydraulic Project Approval from Washington Department of Fish and Wildlife.

Project Descriptions:

- **9th Green Slope Erosion**
 - It appears that a section of bank has eroded due to the 11-14-21 flood event. It is our preliminary recommendation that this section be restored by reducing the angle of the slope, adding some light toe rock and provide plantings with topsoil if needed.
- **17th Green Bridge Armoring**
 - An evaluation of armoring of the existing bridge and nearby slope will be performed to determine if additional armoring will be required in this area.
- **Community Garden Cart Trail Erosion**
 - It appears that a section of bank has eroded due to the 11-14-21 flood event. It is our preliminary recommendation that this section be restored by installing rip rap and spalls with topsoil and plantings in this area. The installation of this non-native material will likely require some additional nearby planting to satisfy WDFW, which there appears to be plenty of opportunity for.

- **7th Green Bridge Armoring**
 - It appears that a section of bank has eroded due to the 11-14-21 flood event. It is our preliminary recommendation that this section be restored by installing rip rap and spalls with topsoil and plantings in this area. The installation of this non-native material will likely require some additional nearby planting to satisfy WDFW, which there appears to be plenty of opportunity for.

Scope of Work:

We expect this work will require the following permits:

- Whatcom County Shorelines Substantial Development Permit
- WDFW Hydraulic Project Approval

We will prepare the shorelines substantial development permit and attend the required hearing in the behalf of Sudden Valley Community Association to provide for proposed improvement project. We will prepare separate site plans and sections for each project and coordinate with Whatcom County as needed. We are not expecting to prepare a stormwater site plan for this project. If a stormwater site plan is required, we can provide that service for an additional cost. We are not expecting to need any topographic survey information for this project. We will provide a basemap using publicly available LIDAR, aerial photographs, and GIS parcel information.

We will also prepare the WDFW Hydraulic Project Approval Application. We expect that a Habitat Conservation Assessment (HCA) will be required which is **NOT** within the scope of this proposal.

Excluded Scope:

Critical areas work, geotechnical work, survey work, traffic studies, architectural design, structural engineering, landscape design, title reports, construction support, as-builts and dry utilities coordination are not included in this scope.

Fee:

For permitting assistance for this project on a Not To Exceed basis in accordance with the rate sheets attached and our budget of **\$14,100**. Below is an approximate schedule of costs:

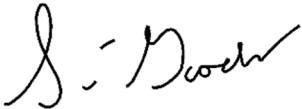
- Principal Engineer @ \$140/hr x 40hr = \$5,600
- Project Engineer @ \$125/hr x 60hr = \$7,500
- GIS Subconsultant: \$1,000

Please sign and date below as a formal acceptance of this proposal. We are excited to being work on your project.

Name

Date

Respectfully,



Scott Goodall, MS, PE
Principal
Impact Design, LLC



2023 Rate Sheet

Office	Hourly Rate
Principal Engineer	\$140
Design Engineer	\$125
Engineering Technician	\$110
Design Technician	\$100
CAD Technician	\$75

Field	Hourly Rate
Construction Inspection	\$90
Drone Pilot (UAV Certified)	\$90
Photogrammetry Technician	\$75

Sub-Consultants	15% Markup
Equipment	15% Markup
Travel Expenses	15% Markup
Mileage	\$0.50 / Mile

Sudden Valley Community Association

Golf: Austin Creek - Repair

PNW Estimate - Bid Package, Permitting, and Construction Management

Task	Description	Hours	Estimated Cost
Design Oversight	Oversight of Impact Design, review drawings, and site visits as required.	12	
	Total Estimated Design Oversight Hours	12	\$ 1,620.00
Permitting	Oversight of permit applications, facilitate signatures / submittals / permit fees.	8	
	Total Estimated Permitting Cost	8	\$ 1,080.00
Contractor Bids	Prepare bid package, issue to contractors, and answer any bid questions.	4	
	Review construction bids, and provide recommendation to SVCA.	2	
	Total Estimated Bid Package Hours	6	\$ 810.00
Construction Management	Under seperate proposal after design / permitting.		
	Total Estimated Construction Management Hours	0	\$ -
	Total Estimated		\$ 3,510.00



January 10, 2024

Sudden Valley Community Association
Attn: Mike Brock
4 Clubhouse Circle
Bellingham, WA 98229

RE: Project Scope Letter
Golf: Austin Creek – Repair, Capital Code 9723.04
Change Order Funding Request

PNW is providing this overall project scope letter to SVCA for Capital Code 9723.04 – Golf: Austin Creek – Repair. On 1-12-23 SVCA authorized this project to proceed with design and permitting. With this authorization, preliminary concepts for repair were prepared, and a site visit with WDFW was scheduled. WDFW agreed to the simple repair concepts presented. A preapplication meeting was then scheduled with Whatcom County to review the scope of work, and verify permitting requirements assumed. During this meeting Whatcom County notified that a hydraulic analysis would be required despite this being a Shoreline Exemption project, and WDFW agreeing to the proposed repairs. Attached for reference is Whatcom County's Pre-Application Meeting Findings.

The initial proposal submitted to the Board of Directors excluded this scope of work as it was assumed to not be required. This specialized scope of work is not something Impact Design completes internally, and would need to be outsourced. Impact Design presented an updated proposal dated 12-29-23 that added \$25,200.00 for survey and hydraulic analysis, and an additional \$2,800.00 for their added time to facilitate and incorporate. Combined, these totaled \$28,000.00. Attached is their updated quote for reference.

With this significant price increase, PNW reached out to Chinook Engineering who designed and permitted the 8th Hole Golf Course Bridge Replacement in 2022 (SVCA Capital Code 9722). The 8th Hole Bridge is approximately in the middle of the 4 repair locations along Austin Creek. As part of that project Chinook Engineering completed this hydraulic analysis. While the hydraulic analysis will have to be redone for the proposed 4 repair locations, Chinook is familiar with Austin Creek and knows exactly what will be required. On 1-9-24 PNW met with Chinook Engineering onsite to review the project, and asked for a proposal. Chinook Engineering provided a proposal to complete the necessary permitting and design to finish the project with a budget not to exceed \$25,000.00.

The proposal from Chinook Engineering, see attached, that is not to exceed \$25,000.00 to complete the design is cheaper than the option to proceed with Impact Design. PNW has spoken with Impact Design, and they are agreeable to turning this project over to Chinook Engineering for budget savings. A comparison of the 2 options is below.



Initial 1-12-23 Proposal Approved by BOD

Design, Permitting, Contractor Bids	
- Impact Design – Design & Permitting Assistance	\$14,100.00
- Habitat Conservation Assessment Allowance	\$8,000.00
- Permit Fees Allowance	\$4,000.00
- PNW Services, Inc. – Oversight & Bid Package	\$3,510.00
Contingency at 10%	\$2,961.00
Total – Design, Permitting, Contractor Bids	\$32,571.00

Updated 12-29-23 with Impact Design

Design, Permitting, Contractor Bids	
- Impact Design – Design & Permitting Assistance – Updated	\$16,900.00
- Hydraulic Analysis with Crosssectional Survey – New Item	\$25,200.00
- Habitat Conservation Assessment Allowance	\$8,000.00
- Permit Fees Allowance	\$4,000.00
- PNW Services, Inc. – Oversight & Bid Package	\$3,510.00
Contingency at 10%	\$5,761.00
Total – Design, Permitting, Contractor Bids	\$63,371.00

Revised 1-10-24 with Chinook Engineering

Design, Permitting, Contractor Bids	
- Chinook Engineering – Design & Permitting Assistance	\$25,000.00
- Habitat Conservation Assessment Allowance	\$8,000.00
- Permit Fees Allowance – Reduced to account for funds spent to date.	\$3,000.00
- PNW Services, Inc. – Oversight & Bid Package – Reduced to account for funds spent to date.	\$3,000.00
Contingency at 10%	\$3,900.00
Total – Design, Permitting, Contractor Bids	\$42,900.00
- Funds spent to date – preapplication permit fee, preliminary design concepts, permit meetings, and oversight.	\$8,185.00
Revised Total Capital Request	\$51,085.00
1-12-23 Capital Request Previously Approved	<\$32,571.00>
Change Order Request	\$18,514.00

PNW recommends SVCA’s Board of Directors approve the change order amount of \$18,514.00, and authorize a contract with Chinook Engineering to be entered.

Please let me know if you have any questions, or if you would like any further information.

Sincerely,

Tyler Andrews
President



Sudden Valley Community Association

360-734-6430

4 Clubhouse Circle Bellingham, WA 98229

www.suddenvalley.com

CAPITAL REQUEST MEMO

To: Sudden Valley Community Association Board of Directors
From: Jo Anne Jensen, General Manager
Date: January 12, 2023
Subject: Capital Request – Golf: Austin Creek – Repair

Purpose

To request funding approval for design and permitting.

Background

During the November 2021 flood event, SVCA had erosion develop at 4 locations on Austin Creek through the golf course.

- Community Garden Cart Trail Erosion
- 7th Green Bridge Armoring
- 9th Green Slope Erosion
- 17th Green Bridge Armoring

SVCA's 2023 budget includes a line item to repair these locations.

Analysis

SVCA is proposing to start the engineering and permitting for these repairs. This work will include:

- Evaluation of each location and a design developed for restoration.
- Habitat Conservation Assessment (HCA).
- Permitting for the above scopes of work. Permits assumed are:
 - o Whatcom County Shorelines Substantial Development Permit
 - o WDFW Hydraulic Project Approval
- Construction is proposed for summer 2023 during the Lake Whatcom Watershed construction window.

Proposal

Authorize engineering and permitting to begin per PNW Services, Inc. attached Proposal dated 1-9-23.

Request

Request \$32,571.00 to begin engineering and design.



Sudden Valley Community Association

360-734-6430

4 Clubhouse Circle Bellingham, WA 98229

www.suddenvalley.com

Motion

Move that the Board of Directors approve the allocation of \$32,571.00 from CRRRF for the engineering and permitting work for the proposed Austin Creek repairs.

Board of Directors Approval

Approved: Not Approved: SVCA Board of Directors

*This request was approved on January 12, 2023
Johanne Jensen, GM.*



January 9, 2023

Sudden Valley Community Association
Attn: Jo Anne Jensen
4 Clubhouse Circle
Bellingham, WA 98229

RE: Project Scope Letter
Golf: Austin Creek – Repair

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Sincerely,

Tyler Andrews
President



Sudden Valley Community Association
Golf Course Streambank Restoration Projects

December 16, 2022

Tyler Andrews
PNW Services, Inc.
PO Box 30498
Bellingham, WA 98228
360-739-2072

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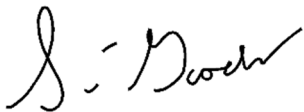
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Please sign and date below as a formal acceptance of this proposal. We are excited to being work on your project.

Name

Date

Respectfully,



Scott Goodall, MS, PE
Principal
Impact Design, LLC



2023 Rate Sheet

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Engineering Technician	\$110
Design Technician	\$100
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Sudden Valley Community Association

Golf: Austin Creek - Repair

PNW Estimate - Bid Package, Permitting, and Construction Management

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Construction Management	Under seperate proposal after design / permitting.		
	Total Estimated Construction Management Hours	0	\$ -
	Total Estimated		\$ 3,510.00

WHATCOM COUNTY
Planning & Development Services
5280 Northwest Drive
Bellingham, WA 98226-9097
360-778-5900, TTY 800-833-6384
360-778-5901 Fax



Mark Personius, AICP
Director

Purpose of Pre-Application Meeting

The purpose of this pre-application meeting is to assist applicants in preparing their development applications for submittal to the County. Pre-application meetings include all County departments responsible for development review. County representatives will describe the type of application(s) necessary, the review process, and applicable development regulations. The pre-application meeting may also identify issues and concerns wherever noted. **It is not meant to be a detailed review of proposed plans or ideas.**

Fees collected for pre-application meetings are non-refundable. However, a portion of the fee paid shall apply to the application fee at the time of formal application, if made within one calendar year of your pre-application meeting.

Please be aware that any communication or checklists provided does not imply approval or conditional approval of the pending application. Future review of your formal application may require changes, alterations or additional information to clarify the details of your proposal and design. Applications for permits may be subject to the review and discretion of other County bodies such as the Technical Review Committee, Hearing Examiner or County Council.

Please also note that substantial changes to the project may require an additional pre-application meeting.

Web Links:

Planning and Development Services Web Page: www.whatcom.wa.us/pds/index

Whatcom County Code: www.whatcom.wa.us under "Online Services" then "Search County Code"

Permit Submittal Requirements/General Application Forms/SEPA checklist/Application Fees etc.: www.whatcom.wa.us/pds/index under "Applications/Forms".

WHATCOM COUNTY
Planning & Development Services
5280 Northwest Drive
Bellingham, WA 98226-9097
360-778-5900, TTY 800-833-6384
360-778-5901 Fax



Mark Personius, AICP
Director

Planning and Development Services Pre-Application Meeting Findings

PRE2023-00071 – Sudden Valley Community Association – Austin Creek Streambank Repair/Stabilization

Whatcom County staff met with the applicant on September 7, 2023 at 10am online via Zoom video conference to discuss armoring four parts of Austin Creek damaged during 2021 floods. A summary of the permits required for this proposal is included below, as well as individual staff comments, providing further detail on each division's regulations and requirements.

Based upon plans and information presented, the following permits/approvals may be required, depending on the proposal (applicable application submittal requirements can be found on the County's webpage):

- Shoreline Exemption or Shoreline Substantial Development Permit
- Land Fill and Grade Permit
- SEPA Environmental Checklist

Application forms can be found at www.whatcomcounty.us/920/Applications-FormsLinks.

Pre-application Purpose:

The purpose of the pre-application meeting is to assist applicants in preparing their development applications for submittal to the County. Pre-application meetings include all County departments responsible for development review. County representatives will describe the type of application(s) necessary, the review process, and applicable development regulations. The pre-application meeting may also identify issues and concerns wherever noted. It is not meant to be a detailed review of proposed plans or ideas.

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Please note that substantial changes to the project may require an additional pre-application meeting.

Staff Comments:

Critical Areas – Nathan Goldschmidt - NGoldsch@co.whatcom.wa.us

This case has been forwarded to Whatcom County Critical Area staff for review under WCC 16.16, specifically WCC 16.16.100 – Purpose and Intent, WCC 16.16.200 – Administrative Provisions, WCC 16.16.600 – Wetlands, and WCC 16.16.700 – Fish and Wildlife Habitat Conservation Areas (FWHCA).

The proposed work will occur at four locations along Austin Creek at 4 Clubhouse Circle in Bellingham, WA (TP#: 3704082055100000, 3704052190540000). This project proposes to restore the Austin Creek stream bank at four different locations. The general repair concept consists of sloping back each location at either a 1.5:1 or 2:1 slope, placing soil lifts with live willow stakes, placing Jute matting, and inserting logs with root wads pointed upstream. Where necessary rip rap will be placed at the bottom of the stream bank. All these measures combined should help prevent additional erosion and scour during a high-flow event.

Whatcom County permit tracking and GIS resources, and supplemental information in the pre-application packet, indicate that the project will occur entirely within the 150-foot Austin Creek Habitat and Conservation Area (HCA) buffer. A site visit was not conducted as part of this review. The subject property is within or near:

- Fish and Wildlife Habitat Conservation Areas (FWHCA).

Per WCC 16.16.720.I, streambank stabilization and shoreline protection may be permitted within this HCA. Whatcom County Natural Resources (NR) staff will evaluate the proposed project's compliance with WCC 16.16.720.I at the time of permit submittal. In addition to Whatcom County HCA regulations, the WDFW and USACE have jurisdictional authority over the proposed project elements. Per WCC 16.16.215(B), Whatcom County NR staff may determine that the conditions imposed in the WDFW and USACE permits can be substituted as the conditions of approval for the requirements of WCC 16.16.

The following items are required for further review of this project under the appropriate development permit:

1. Compliance with WCC 16.16.720.I must be demonstrated in the permit application materials including an objective alternatives analysis for all proposed hard shore armoring.
2. The Critical Areas Ordinance (CAO; WCC 16.16) requires avoidance of all impacts to critical areas. For impacts, mitigation will be required per WCC 16.16.260, 16.16.680 and 16.16.760, as applicable.

Flood – Joshua Fleischmann - JFleisch@co.whatcom.wa.us

This memorandum provides a review of the subject permit for compliance with the Whatcom County Flood Damage Prevention Code (WCC Title-17) and the associated requirements of the Endangered Species Act (ESA).

The subject proposal is for stream bank repair to 4 locations along Austin Creek at 4 Clubhouse Circle (Parcel #s 370408205510 & 370405219054). The subject location is within a Special Flood Hazard Area (SFHA), specifically Flood Zone A with a Base Flood Elevation (BFE) of 2-feet above the Highest Adjacent Grade (HAG) and a Flood Protection Elevation of 3-feet above the HAG.

Whatcom County Code (WCC) Title 17, Flood Damage Prevention 17.12.030, Section A.3, states that the department shall "Review all floodplain development permit applications to determine if the proposed development adversely affects the flood-carrying capacity of the area of special flood hazard, and prohibit those developments that are determined to adversely affect the flood-carrying capacity. For purposes of this section, "adversely affects flood-carrying capacity" means that the cumulative effect of the proposed development, when combined with all other existing and anticipated development, will increase the water surface elevation of the base flood more than one foot at any point."

The project will be subject to the following conditions:

- The project must be constructed in accordance with the submitted plans/drawings and supporting documentation
- A hydraulic analysis certified by a qualified professional documenting the proposed development will not adversely affect the SFHA shall be required prior to approval of the subject permit.
- A copy of the Nationwide Permit (NWP) from the Army Corps of Engineers (ACOE) shall be provided to the river and Flood Division prior to start of any work in order to demonstrate compliance with the ESA.
- A copy of the Hydraulic Project Approval (HPA) permit from the Washington Department of Fish and Wildlife shall be provided to the river and Flood Division and/or Planning and Development Services prior to start of any work.
- Best Management Practices (BMP's) shall be utilized to reduce/eliminate construction related impacts within the SFHA

A Habitat Assessment for the proposed development will not be required for compliance because Lake Whatcom is not listed as critical habitat for endangered/listed species and will be subject to NPDES standards.

Geologic Hazards – Andy Wiser – AWiser@co.whatcom.wa.us

A pre-application meeting was held on September 7, 2023, to discuss permit requirements for proposed stream bank stabilization along Austin Creek in the vicinity of the Sudden Valley Golf Course. Stabilization is being considered to address bank erosion that occurred during flood conditions in the Fall of 2021. Four separate locations were proposed for bank stabilization, with each location containing unique design elements and proximal existing development. Three of the proposed locations are located within shoreline jurisdiction and are subject to the requirements of Chapter 23 and Chapter 16 of Whatcom County Code, whereas the fourth location is located outside of shoreline jurisdiction and is subject only to the requirements of Chapter 16 (with minor exception, see below).

If the proposed work meets the definition of repair and maintenance of existing, lawfully established bank stabilization, geotechnical assessment would not be required. For the location outside of shoreline jurisdiction, repair and maintenance may be permitted as Notification of Activity subject to the requirements of WCC 16.16.235(B.2). For those locations within shoreline jurisdiction, please refer to the requirements prepared by Kyla Walters.

For new bank stabilization within shoreline jurisdiction, WCC 23.100.130(B.1.a) requires that a qualified professional determine through geotechnical assessment that an imminent threat to a primary use (defined as within 3 years) is present. If the qualified professional determines that a threat is present, but is less imminent than 3 years, the geotechnical assessment may justify bank stabilization utilizing bioengineering approaches. The geotechnical assessment shall also include an alternatives analysis that considers approaches other than hard armoring for protecting existing improvements, such as relocation of infrastructure away from erosion hazards, soft-shore techniques, or no action. If geotechnical assessment determines that hard armoring is necessary, the qualified professional shall provide recommendations to ensure that the design is the minimum necessary to mitigate for interpreted erosional forces, but also sufficiently robust to resist future flood conditions and prevent the need for future repair and maintenance.

For new hard armoring located outside of shoreline jurisdiction, stream stabilization is subject to the requirements of WCC 16.16.355(B.7). Demonstration of threat through geotechnical assessment, like projects located within shoreline jurisdiction, is required, as is compliance with the requirements of WCC, Chapter 23.

PW Engineering – Kyle Klum - KKlum@co.whatcom.wa.us

This Pre-app case has been forwarded to Whatcom County Public Works staff for review of the commercial stormwater portion. The proposed project will repair damage from the November 2021 floods and protect against further flooding events. Proposed development is located within the NPDES phase II stormwater area.

The following comments are based on documents that have been submitted for the review. Any changes to the proposed project may modify these findings.

GENERAL COMMENTS

1. All development shall comply with the Whatcom County Development Standards (WCDS) and WCC 20.80.630.
2. All roads, stormwater facilities, and civil plans shall be designed and stamped by a Washington State Licensed Civil Engineer.
3. All appropriate permits must be obtained before construction. Obtaining a county permit does not replace or over-ride other state and federal statutes and regulations that may apply to this project. DOE permit (if required) must be obtained prior to any construction performed on the subject site.

STORMWATER COMMENTS

4. Proposed development is subject to WCC 20.80.630 and 2019 DOE SWMMWW. Proposed development shows less than 2000 SF of new or improved impervious surface area, as such the developer will be required to consider minimum requirement 2 of the SWMMWW, Construction Stormwater Pollution Prevention Plan.

Shorelines - Kyla Walters - KWalters@co.whatcom.wa.us

Austin Creek is regulated pursuant to the Washington State Shoreline Management Act (SMA) and the Whatcom County Shoreline Management Program (SMP). The subject project is within Shoreline Jurisdiction within the Rural and Urban designations. SMP jurisdiction includes lands waterward of the Ordinary High Water Mark (OHWM) and those lands extending landward for 200-feet in all directions as measured on a horizontal plane from the OHWM, or as identified by the Official Shoreline Map for the Nooksack River. Based on the County's Official Shoreline map and submitted site plans, a portion of the proposed project falls within Shoreline Jurisdiction (the western most site is outside of shoreline jurisdiction). The project area is also within a Habitat Conservation Area (HCA) buffer extending 150 ft. upland from the OHWM.

If the armoring repair is restoring the streambank to its previous condition, this would be considered a maintenance/repair project which could be reviewed through a Shoreline Exemption permit. If the proposed armoring is new or any expansion is proposed, a Shoreline Substantial Development Permit would be required. In that case, the applicant would need to demonstrate the need for the armoring per WCC 23.100.130.B. A SEPA Environmental Checklist will also be required as the project involves work below the Ordinary High Water Mark. The western most project is outside of shoreline jurisdiction and would require review through a Land Fill & Grade permit. This should be submitted simultaneously with the shoreline permit and SEPA Checklist, for a consolidated review. LDP2020-00041, which approved maintenance activities on this property through a 5-year programmatic permit, does not cover the proposed scope of work.

Information provided in association with this pre-application conference shall be valid for a period of one-hundred-eighty (180) days following the pre-application conference. An applicant wishing to submit a permit application more than 180 days following a pre-application for the same permit application shall be required to schedule another pre-application conference.

If you should have any specific questions, please contact the individuals listed above.



Sudden Valley Community Association
Golf Course Streambank Restoration Projects

December 29, 2023

Tyler Andrews
PNW Services, Inc.
PO Box 30498
Bellingham, WA 98228
360-739-2072

Thank you for the opportunity to submit a proposal to provide engineering and permitting assistance for (4) separate streambank restoration and armoring projects at the Sudden Valley Golf Course. Most of these projects appear to be in the shorelines jurisdiction of Austin Creek and all will require a Hydraulic Project Approval from Washington Department of Fish and Wildlife. A pre-application meeting (PRE2023-00071 – Sudden Valley Community Association – Austin Creek Streambank Repair/Stabilization) was held (comments attached) regarding the requirements for the project on September 7th, 2023.

Project Descriptions:

- **9th Green Slope Erosion**
 - It appears that a section of bank has eroded due to the 11-14-21 flood event. It is our preliminary recommendation that this section be restored by reducing the angle of the slope, adding some light toe rock and provide plantings with topsoil if needed.
- **17th Green Bridge Armoring**
 - An evaluation of armoring of the existing bridge and nearby slope will be performed to determine if additional armoring will be required in this area.
- **Community Garden Cart Trail Erosion**
 - It appears that a section of bank has eroded due to the 11-14-21 flood event. It is our preliminary recommendation that this section be restored by installing rip rap and spalls with topsoil and plantings in this area. The installation of this non-native material will likely require some additional nearby planting to satisfy WDFW, which there appears to be plenty of opportunity for.

- **7th Green Bridge Armoring**
 - It appears that a section of bank has eroded due to the 11-14-21 flood event. It is our preliminary recommendation that this section be restored by installing rip rap and spalls with topsoil and plantings in this area. The installation of this non-native material will likely require some additional nearby planting to satisfy WDFW.

Scope of Work:

We expect this work will require the following permits:

- Whatcom County Shorelines Substantial Development Permit
- Whatcom County Land Fill and Grade Permit
- Whatcom County SEPA Environmental Checklist
- WDFW Hydraulic Project Approval
- Nationwide Permit (NWP) from the Army Corps of Engineers (ACOE)

We will prepare the above permits and attend the required hearing on behalf of the Sudden Valley Community Association to provide for the proposed improvement project. We will prepare separate site plans and sections for each project and coordinate with Whatcom County as needed. This will include a stormwater pollution prevention plan, a grading plan and details for the site.

This project will require a hydraulic analysis certified by a qualified professional documenting the proposed development will not adversely affect the SFHA. This will require a 1-D Hydraulic Analysis using the HEC-RAS modeling and a survey effort for the site.

Excluded Scope:

Habitat Conservation Assessment (HCA) and critical areas work, geotechnical work, traffic studies, architectural design, structural engineering, landscape design, title reports, construction support, as-builts and dry utilities coordination are not included in this scope.

Fee:

For permitting assistance for this project on a Not To Exceed basis in accordance with the rate sheets attached and our budget of **\$42,100**. Below is an approximate schedule of costs:

Permitting and Civil Engineering Assistance (\$16,900)

- Principal Engineer @ \$140/hr x 60hr = \$8,400
- Project Engineer @ \$125/hr x 60hr = \$7,500
- GIS Subconsultant: \$1,000

Crosssectional Survey (\$5,200)

- Locate Crosssectional Topography
- Locate Crosssectional Bathymetry
- Locate pertinent grade breaks and include grounds shots
- Deliverables include: Stamped/Signed Topographic Survey Map, Electronic survey drawing w/ points, linework, and XML surface in ACAD Civil 3D format

Hydraulic Analysis (\$20,000)

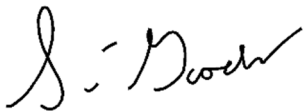
- Principal Hydrogeologist @ \$160/hr x 40hr = \$9,600
- Geomorphologist @ \$130/hr x 60hr = \$10,400

Please sign and date below as a formal acceptance of this proposal. Thank you for the opportunity to work together again.

Name

Date

Respectfully,



Scott Goodall, MS, PE

Principal

Impact Design, LLC



2024 Rate Sheet

Office	Hourly Rate
Principal Engineer	\$140
Design Engineer	\$125
Engineering Technician	\$110
Design Technician	\$100
CAD Technician	\$75

Field	Hourly Rate
Construction Inspection	\$90
Drone Pilot (UAV Certified)	\$90
Photogrammetry Technician	\$75

Sub-Consultants	15% Markup
Equipment	15% Markup
Travel Expenses	15% Markup
Mileage	\$0.50 / Mile

Chinook Engineering
860 Windrose Drive
Coupeville, WA 98239
360.672.5528



Tyler Andrews
Sudden Valley Community Association
4 Clubhouse Circle
Bellingham, WA 98229

Proposal Number 23473
Proposal Date 01/10/2024

Austin Creek Stream Bank Restoration and Fish Habitat Enhancement Project for the Sudden Valley Community Association

Pricing

Description	Rate	Qty	Line Total
Survey and Data Collection Visit Site and collect preliminary and in depth topography survey information adequate to prepare site survey base map for design.	\$2,000.00	1	\$2,000.00
Base Map Preparation Prepare site survey base map for design.	\$1,000.00	1	\$1,000.00
Hydraulic Modeling HECRAS Use USCOE HECRAS model to determine water surface elevations and water velocities	\$4,000.00	1	\$4,000.00
Hydraulic Computer Modeling Use measurements to numerically analyze the resulting hydraulics for the project	\$3,000.00	1	\$3,000.00
Preliminary Design Prepare Preliminary Design solution alternatives and discuss with client and Agencies if required.	\$5,000.00	1	\$5,000.00
Final Design Prepare Final Design Drawings and specifications ready to build or bid the project.	\$6,000.00	1	\$6,000.00
Permitting Assistance Assist in the preparation of permits	\$4,000.00	1	\$4,000.00
	Subtotal		25,000.00
	Tax		0.00
	Proposal Total (USD)		\$25,000.00

Notes

Tyler,

This proposal is to provide the necessary hydraulics and water flow analysis as required by Whatcom County as discussed in your email and to prepare a permitting and construction ready set of drawings. This is based on a Not Exceed Basis.

Thank you,

Jay Kidder

Terms

Invoiced monthly and assumed to be completed by February 28th, 2024. Please add 3% if paid with credit cards.

Tyler Andrews, Sudden Valley Community
Association

Morgan Libby

From: Brian Kruhlak
Sent: Tuesday, January 23, 2024 1:24 PM
To: Jo Anne Jensen; Greg Wadden
Cc: Kevin LeDuc; Joel Heverling
Subject: Re: Austin Creek Repair

Jo Anne

Thanks for passing this along and for clarifying that this work is not mandated by the county.

Greg, Kevin and me will need to look more closely at the scope of the project as I'm not certain it addressed significantly the areas of concern with respect to the affect to the playability of the golf holes that were affected by erosion.

It may well make sense to reduce the scope or eliminate the project entirely.

Brian

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From: Jo Anne Jensen <jjensen@suddenvalley.com>
Sent: Tuesday, January 23, 2024 11:47:52 AM
To: Brian Kruhlak <bkruhlak@suddenvalley.com>; Greg Wadden <greg.wadden@suddenvalley.com>
Cc: Kevin LeDuc <headpro@suddenvalley.com>; Joel Heverling <acctmgr@suddenvalley.com>
Subject: Austin Creek Repair

Brian and Greg,

The cost of the proposed Austin Creek repairs has risen considerably since the project was first put forward. One reason for this is that the County is requiring us to do a hydraulic analysis.

To remind you, the project includes repairing four areas of erosion along the banks of Austin Creek. I've attached the capital request that was approved in January 2023. **There is no requirement** to do this repair from the standpoint of the County. If we want to do the repair, however, it will be very costly.

The BOD approved \$32,571 dollars for design and permitting alone. With the added requirement of the hydraulic analysis, the cost for design and permitting has risen to \$51,085. The cost of implementing the design was estimated last year at \$70,000. Most quotes came back significantly higher than the estimates in 2023 and I expect this trend to continue. Plus, we have no idea what requirements the County would place on us. Asking for a hydraulic analysis was not expected, so I feel that it is likely future surprises will occur.

If the erosion has worsened or if the amount of land lost to erosion significantly affected the course, there is a strong argument for continuing forward with this project. But I do not want to move forward without much more consideration and discussion of the cost and benefits of the project.

Please let me know your thoughts asap. If we want to go forward with this project we will need to bring it to the BOD in February.

Thank you.

Jo Anne

Jo Anne Jensen
General Manager
Sudden Valley Community Association
4 Clubhouse Circle, Bellingham, WA 98229
360-734-6430 x321
jjensen@suddenvalley.com



Morgan Libby

From: Kevin LeDuc
Sent: Wednesday, January 24, 2024 9:11 AM
To: Greg Wadden; Jo Anne Jensen; Brian Kruhlak
Cc: Joel Heverling
Subject: RE: Austin Creek Repair

Jo Anne,

Thanks for your efforts on the Creek repair issues. I agree with Brian and Greg's responses. Because of the cost, I think we should hold off on doing everything. I agree we can't afford to lose another bridge. Whether we have a professional inspection or inspect them closer ourselves, I think we should take a closer look at them. I know in the past we have done some "armoring" inhouse and that may help with potential issues.

As far as the erosion, although unpredictable weather concerns me these days, #9 and #17 erosion areas are mostly on straightaways of the creek. If we get another major flood like before we certainly may have issues, but as far as playability and aesthetics I don't feel that aren't a concern at this point.

Thank you

Kevin LeDuc
PGA Head Golf Professional
Sudden Valley GC
360-734-6435

From: Greg Wadden <greg.wadden@suddenvalley.com>
Sent: Tuesday, January 23, 2024 1:36 PM
To: Jo Anne Jensen <JJensen@suddenvalley.com>; Brian Kruhlak <bkrhlak@suddenvalley.com>
Cc: Kevin LeDuc <headpro@suddenvalley.com>; Joel Heverling <acctmgr@suddenvalley.com>
Subject: RE: Austin Creek Repair

My initial thoughts on this are the following:

- Bank erosion will continue, at what rate? Don't know. Erosion does not stop and will only continue.
- If the bank erosion is to be considered aesthetic, they let it be. Has the erosion worsened, difficult to tell, but I would hasten a guess as it has not worsened.
- If we are attempting to decrease the costs, we should only focus on the bridge "armoring" scope as these areas cannot fail i.e., another bridge washout.
- What if we get an updated bridge inspection report. That will tell us if bridge armoring is required.
- Lastly, we can just let the whole thing be, and repair bridge armoring and abutments as, or if it happens.

Cheers

Greg

From: Jo Anne Jensen <jjensen@suddenvalley.com>

Sent: Tuesday, January 23, 2024 11:48 AM

To: Brian Kruhlak <bkruhlak@suddenvalley.com>; Greg Wadden <greg.wadden@suddenvalley.com>

Cc: Kevin LeDuc <headpro@suddenvalley.com>; Joel Heverling <acctmgr@suddenvalley.com>

Subject: Austin Creek Repair

Brian and Greg,

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To remind you, the project includes repairing four areas of erosion along the banks of Austin Creek. I've attached the capital request that was approved in January 2023. **There is no requirement** to do this repair from the standpoint of the County. If we want to do the repair, however, it will be very costly.

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If the erosion has worsened or if the amount of land lost to erosion significantly affected the course, there is a strong argument for continuing forward with this project. But I do not want to move forward without much more consideration and discussion of the cost and benefits of the project.

Please let me know your thoughts asap. If we want to go forward with this project we will need to bring it to the BOD in February.

Thank you.

Jo Anne

Jo Anne Jensen

General Manager

Sudden Valley Community Association

4 Clubhouse Circle, Bellingham, WA 98229

360-734-6430 x321

jjensen@suddenvalley.com



Morgan Libby

From: Tyler Andrews <tylera@pnwcivil.com>
Sent: Sunday, April 21, 2024 4:16 PM
To: Jo Anne Jensen
Subject: RE: Austin Creek

Hi Jo Anne,

Yes, I support putting this project on hold for the following reasons:

- The erosion took place during the November 2021 flood event. Since that time, it doesn't appear the erosion has increased, and things are stable. There is no guarantee additional erosion won't occur, but for the time being things appear stable.
- Putting the project on hold, and under a monitoring status makes sense. This would be similar to what has taken place with Southern Court. Southern Court had a sinkhole develop, and the road was shifting. After a few months of monitoring the road hadn't shifted anymore and appeared stable. It was reopened and put in a monitoring status, and so far, that has worked well verse the option of permanently closing or having to rebuild the entire road which would be very costly.
- If SVCA had unlimited resources it could be fixed now, but with limited resources it seems using these funds for other items this year makes sense. Officially defer the project for 2024, keep under monitoring, and then budget into 2025. Repeat the same process in 2025 incase erosion starts again.

To my knowledge Whatcom County isn't requiring SVCA to proceed with this project. SVCA brought the proposed project to Whatcom County for preliminary review and confirming permit requirements. Nothing during that process has turned into SVCA being required to do anything. Please let me know if you have any other questions.

Thanks,

Tyler

Tyler Andrews
PNW Civil, Inc
PO Box 30498
Bellingham, WA 98228
360-739-2072

From: Jo Anne Jensen <jjensen@suddenvally.com>
Sent: Friday, April 19, 2024 10:51 AM
To: Tyler Andrews <tylera@pnwcivil.com>
Subject: Austin Creek

Tyler,

I am pulling together materials for the Board to give them the background on Austin Creek. It is on the agenda for 4/25. Based on feedback from Golf, the cost of the erosion repairs now exceed the value they would deliver.

My understanding is that Whatcom County is not requiring us to make this repair. Is that correct? Can you send an email or short memo summarizing the situation and your opinion on whether the project should go forward? I believe when we last spoke you were ok with continuing to monitor the erosion sites and delaying action until it became clear that erosion was causing new damage to infrastructure. If you think the project should go forward, I'd appreciate a summary of the reasons you feel that is best so that everything can be taken into consideration.

By the way, if funds were unlimited, I would fully support repairing the erosion and protecting the banks, as allowed, from further damage.

Thank you.

Jo Anne

Jo Anne Jensen

General Manager

Sudden Valley Community Association

4 Clubhouse Circle, Bellingham, WA 98229

360-734-6430 x321

jjensen@suddenvalley.com

